



ACT
Government

Suburban Land
Agency

Jacka 2 Stage 1 Residential Estate Housing Development Guide

May 2023

Housing Development Guide

Jacka 2 – Stage 1

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Version Control

This section of the Specific Requirements shows the different versions that have been issued. On each page of the document there is also a page number, issue date and a version number. You should make sure you are using the most recent version.

Version	Date	Amendment Details
1.0	May 2023	



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If English is not your first language and you require a translating and interpreting service, please phone 13 14 50.

If you are deaf, or have a speech or hearing impairment, and need the teletypewriter service, please phone 13 36 77 and ask for Access Canberra on 13 22 81.

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Disclaimer

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Specific Requirements

1. Variations

The Suburban Land Agency reserves the right to vary this document from time to time. Variations will be issued via an addendum to affected buyers who have entered into a First Grant Contract for a Block.

2. Additional Requirements

Outlined below are additional requirements that apply to Jacka 2 – Stage 1.

2.1. *Verge Bond*

The ACT Government, Suburban Land Agency has installed and established as part of the estate works in your new community, new street trees and grassing to the verge areas. The trees and grass provide a green streetscape and contribute to shading your new home from summer sun, as well as contributing to the creation of habitat for native fauna in the area.

The street trees are looked after by the ACT Government's land custodian, Transport Canberra and City Services (TCCS), whilst the verge grassing is the responsibility of the lease holder of the block behind the verge. As part of the construction of your new home, you are required to protect the verge assets during construction and make good any damage upon completion of your landscape works. The verge includes the area forward of your property boundary line to the kerb and gutter and can include ACT Government assets such as concrete footpaths, driveways, kerb and gutters, light poles, mini pillars, street trees and grassing.

This can include but is not limited to re-grassing the verge if areas fail due to construction related activities. If there is other damage, from construction related activities, such as damage to the new street tree, or concrete footpath you are required to notify the Suburban Land Agency, so an assessment can be made as to the best way to repair these assets. If there is damage to ACT Government assets, please contact the Suburban Land Agency Place Management team at SLAPlacemanagement@act.gov.au.

To ensure the verges are returned to their original state post construction, a \$1000 bond will be required at the time of settlement. Within six months of receiving your certificate of occupancy and no later than 30 months after settlement of your block, and once the verge is returned back to its original and established condition, the bond paid at time of settlement (and as detailed in your sales contract), can be reimbursed to you.

If you would like to change the verge surface treatment from grass to something else, such as a garden, please contact TCCS on 13 22 81.

2.2. *Solar Bond*

Solar photovoltaic (PV) is a technology that converts sunlight (solar radiation) into electricity using semiconductors. Solar PV systems enable you to generate your own electricity, helping to reduce your



energy bills. Solar PV panels generate the most energy throughout the year when they are facing north (or closest to), and not overshadowed by buildings or other structures.

You must install a solar PV system with a minimum total rated power output of 5.5 kilowatts (kW) on the roof of the dwelling. Please note that to be eligible for the 2.4. Home Energy Package Rebate, a system of 6.5 kilowatts (kW) is required.

To ensure the installation of solar panels on homes in Jacka, a \$2000 bond will be required at the time of settlement. Within six months of receiving your certificate of occupancy and no later than 30 months after settlement of your block, and once a compliant solar PV system is installed, the bond paid at time of settlement (and as detailed in your sales contract), can be reimbursed to you.

The solar PV system must be sourced from a New Energy Tech Approved Seller, under the New Energy Tech Consumer Code (NETCC) Program. All equipment must be installed, commissioned, tested and certified by an ACT licensed tradesperson. They must also be a Clean Energy Council (CEC) accredited installer.

2.3. Claiming Your Bond

To claim either of the above bonds following the completion of your house, you will need to send an email to suburbanland@act.gov.au with the following information:

- Certificate of occupancy
- Photos of the verge showing its current condition, and photos of installed solar PV system
- If relevant, written agreement from TCCS to a change in the verge treatment

Please note –

- Documentary evidence must include the address of the dwelling where the item is installed and all relevant details. Evidence can be provided by a retailer, builder or the installer. A tax invoice OR a letter on a company letterhead are acceptable forms of evidence. Where a letter is provided from the builder or retailer the items can be combined.
- Photos are to be taken from ground level and can be combined. Hard copy photos must identify the Block and Section on the reverse side.
- When assessing a claim for bond return, the Suburban Land Agency may conduct an inspection of to verify that the verge has been returned to its original condition and solar PV system installed. If the Suburban Land Agency is not satisfied, at its sole discretion it may choose to not return the bond. If you require the use of the verge during construction, please contact Access Canberra on 13 22 81.

2.4. Home Energy Package Rebate

The Home Energy Package Rebate supports Buyers or Eligible First Transferees in designing an energy efficient home that will increase health and comfort and lower your running costs throughout the life of your home. The Buyer or First Transferee of an Eligible Block will be entitled to receive a Rebate amount of \$7,000, where all the Eligibility Requirements have been fulfilled.



The Home Energy Package requires that Buyers or Eligible First Transferees of an Eligible Block include the following in the design and construction of their All-electric home:

1. **Roof Colour:** Build a home that has a “light” coloured roof with a solar absorptance value of less than 0.5; and
2. **Solar PV System:** Install a Solar PV system with a minimum total rated output of 6.5kW; and
3. **Hot Water System:** Install an energy efficient electric heat pump or electric boost solar hot water system; and
4. **Energy Demand Management System:** Install a home energy demand management system in the home; and
5. **EV Charging Point:** Install an electric vehicle dedicated charge point in the garage or carport.

For more information, please refer to “Home Energy Rebate Program Eligibility Guidelines”.

2.5. Front Garden Landscape Rebate

Your The Front Garden Landscape Rebate supports Buyers or Eligible First Transferees in designing a climate-wise front garden that will help to keep your home cool and comfortable, save water, and support the local environment. The Buyer or First Transferee of an Eligible Block will be entitled to receive a Rebate amount of \$6,000, or \$7,000 for a corner block, where all the Eligibility Requirements have been fulfilled.

The Front Landscape Rebate requires that Buyers or Eligible First Transferees of an Eligible Block adhere to the following requirements in the design and construction of their front gardens:

1. **Paths and Paving:** any additional paths or hard landscaping beyond the driveway, entranceway and path to front door are to be constructed with permeable materials; and
2. **Feature Trees:** plant a minimum of 3 trees, or 6 trees for a corner block, of at least 45 litre pot size with a mature height of at least 3 metres; and
3. **Other Plants:** plant a minimum of 40 other plants, or 50 other plants for a corner block (other plants include shrubs, climbers, groundcover, ornamental grasses etc); and
4. **Species Diversity:** chosen trees and other plants are to be comprised of at least 5 different species; and
5. **Mulching:** all garden beds are to be mulched to a minimum depth of 75mm; and
6. **Non-compliant Landscape Features:** no artificial grass, black or dark gravel, or dyed mulch is to be used.

For more information, please refer to “Front Garden Landscape Rebate Eligibility Guidelines”.

2.6. Bush Fire Requirements

Your level of bush fire risk affects your development requirements – the higher the risk, the more protection you need. The term ‘bush fire attack level’, or BAL, is used to quantify this risk. Refer to Block Details Plans for the block with bush fire requirements for building construction. The block identified will

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need to construct buildings using materials and with features that meet the Australian Standard Building requirements for the Bushfire Attack Level (BAL) required for that specified block location.

2.7. Solid Fuel Heating Systems

All residents within Jacka 2 are required to comply with the Solid Fuel Heating restriction in the Memorandum of Provisions incorporated into the Crown Lease. Buyers are not to install or use a solid fuel heating system on the premises without the prior written approval of EPSDD.

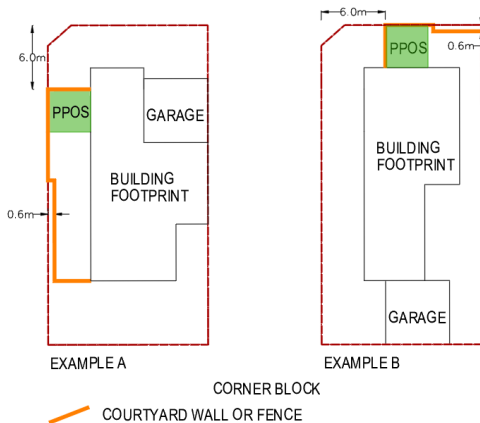
2.8. Retaining Walls

The height of site cuts along the side and rear boundaries and within 1.5m of the boundary is restricted to a maximum of 1m, with any boundary retaining wall also not to exceed 1m in height. Where there are services easements, the natural ground level above these easements cannot be altered. Maximum fence height must include any retaining wall that is foundational to the fence or wall. In rear loaded and attached dwellings fronting Road 02, retaining and front courtyard walls must be integrated with any front steps as a design solution. Refer to Fencing Controls Plans in Annexure D for the location of Sections requiring consideration towards integrated retaining wall, fencing and slab design.

2.9. Fencing

Provide both solid and semi-transparent elements within fencing/ courtyard designs. Colorbond solid fencing, chain mesh fencing, paling fences or raw or treated pine fencing must terminate at a minimum 1m behind the building line. These types of fencing are not permitted beyond the front of the building line. Maximum fence/ wall height is the cumulative height of retaining wall and fence. For garages located on a zero setback, fencing must terminate at the rear of the garage. For corner block:

- Minimum 6m setback to alignment intersection (the fencing cannot go further than 6m from the corner of the blocks to prevent vehicle site lines being obstructed)
- 50% of fencing at 0m setback and 50% of fencing at 0.6m setback (total length)
- No maximum fencing length



Detail 1: Corner Block Fencing Options

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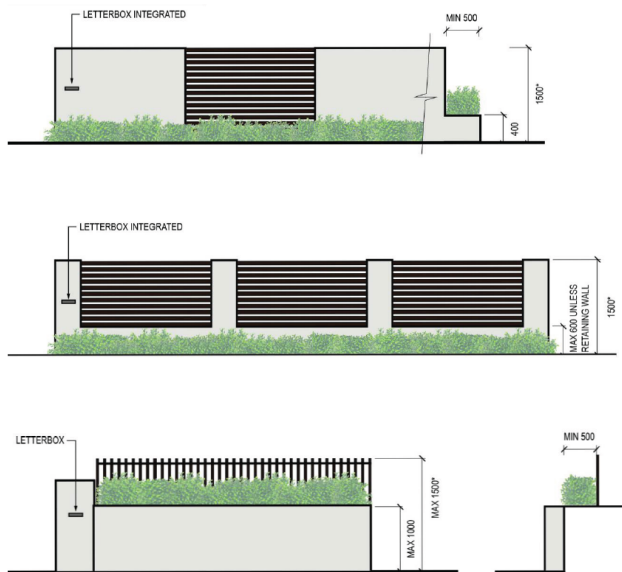


2.10. Front Fencing and Fencing to Open Space

Fencing controls are provided for blocks fronting directly onto open space, siding onto open space and interfacing with pedestrian paths. Controls for these conditions include:

1. **Front fence to open space:** Minimum setback of 0.6m for screening plants, Maximum 1.5m high where PPOS is located front of the building line and maximum 1.2m high elsewhere, provide access gates, provide both solid and semi-transparent elements within fencing/ courtyard designs.
2. **Side fence to open space:** Minimum setback of 0m, Maximum 1.5m high, provide both solid and semi-transparent elements within fencing/ courtyard designs.
3. **Side fence to pedestrian link:** Minimum setback of 0m, Maximum 1.5m high, provide access gate, provide both solid and semi-transparent elements within fencing/ courtyard designs.

Refer to Fencing Controls Plans in Annexure D for more details. No front fence, wall or balustrade is required in mixed use zone. There should be a seamless and open frontage from built form to promenade with only vertical separation to immediate natural open space and ponds.



Detail 2: Courtyard Wall or Fence Examples with Integrated Letterbox

2.11. Principle Private Open Space (PPOS)

PPOS cannot be lower than 1m below the front boundary level for a depth of 3m from the front boundary to the open space. PPOS on blocks in slope responsive areas sometimes require typologies in the form

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of over- under terraces or split-level houses whereby PPOS is permitted and best located on upper levels (balconies and rooftops) to optimise views and orientation.

Terraces fronting Road 02 also permit upper level PPOS due to block orientation and development optimisation that will enable the rear laneway to provide greenery consistent with Urban Forest objectives and amenity (Refer to Block Details Plans for alternative PPOS solution).

2.12. Mandatory 2 and 3 Storey Built Form

A maximum of 2 storeys is permitted for single residential. A third storey component may be considered in slope responsive areas and typologies in the form of over- under terraces or split-level houses. There is mandatory 2 and 3 storeys on certain blocks fronting collector road, mixed use centre and/or main pond area and certain open space (Refer to Block Details Plans in Annexure C).

2.13. Building Setbacks

Minimum building setbacks and mandatory side boundaries are introduced in a number of blocks to create a uniform streetscape and ensure all developments achieve an adequate amount of solar access and privacy (Refer to Block Details Plans for setback requirements).

2.14. Garages/ Carports

Garages and carports must be integrated with the overall design of the house and consistent with Block Details Plans where location of garage is stipulated.

Studios above garages should provide external stair access and be integrated with the style and materiality of the garage and primary dwelling. Driveways should be light colored, non-reflective and have the minimal allowable footprint under the Planning Code. Permeable paving is encouraged.

2.15. Articulation to Corner Blocks and Blocks Adjacent to Open Spaces

The house design must address both frontages for corner blocks consistent with the Fencing and Block Details Plans. This may be supplemented with a gate access requirement in some locations to further activate open space, paths and secondary frontages of importance.

2.16. Midsize Block Provision

Blocks between 500m² to 550m² are nominated as midsize blocks. Development on these blocks takes advantage of reduced setbacks and other design siting requirements. For more information, refer to latest Development Codes within the Territory Plan.

2.17. Mandatory Surveillance Blocks

Certain corner residential blocks with frontages to rear lanes are required to incorporate habitable rooms above garages. A habitable room means a room used for normal domestic activities i.e. bedroom, living room, study etc. This aims to provide better passive surveillance of rear lanes. For more information, see Rule 62 of the Estate Development Code within the Territory Plan.



2.18. Mandatory Habitable Room Fronting Open Space

Residential blocks fronting open space in Section G are required to provide a habitable room, other than bedroom, facing the open space. This aims to provide better passive surveillance of the open space by increasing occasional sightlines and views from within the house.

2.19. Letterbox to Open Space

Residential blocks fronting open space in Section G are required to provide park frontage letterboxes. Letterboxes must compliment the home and shall be constructed of a material consistent with a dominant house material. Prefabricated stand-alone style mailboxes are not permitted. Where a courtyard wall is constructed, the letterbox should be integrated into the wall.

2.20. Mandatory Build to Boundary

Certain mid-sized blocks as part of a terrace arrangement are nominated with a mandatory build to boundary. Blocks nominated in the terrace arrangement allows zero side setbacks on the length of the boundary that is indicated by the brown triangle. The purpose of this control is to allow those end blocks to have the same setbacks as the other terrace blocks and for a uniform look in the development.

2.21. Integrated Development Parcel

A number of integrated development parcels (IDPs) are proposed within Jacka 2. These parcels of lands are intended to be subdivided into two or more single dwelling blocks and used for an integrated housing development. Refer to Integrated Development Plans in Annexure E for indicative building envelopes.

2.22. Limited Development Opportunity

Single dwelling blocks that do not comply with R47 of The Estate Development Code (EDC) and are not contained in an integrated housing development parcel are identified in the estate development plan as limited development potential blocks. Refer to Block Details Plans for location of blocks with limited development opportunity.

2.23. Water Efficient Fixtures

Water efficient fixtures and fittings must be installed with the following minimum (although higher star ratings are encouraged) star rating in accordance with the Water Efficiency Labelling & Standards (WELS) Scheme:

1. **Showerheads:** 3 star with flow rate of less than 9 litres/minute
2. **Tapware in kitchens and wet areas:** 4 star
3. **Toilets:** 4 star
4. **Dishwashers** (if fitted): 4 star
5. **Washing machines** (if fitted): 4 star



2.24. Rainwater Tanks

Rain water tanks must be installed in accordance with R6.1 of the Single Dwelling Housing Development Code including minimum roof capture areas and internal and external connection requirements (See Part 5 for size requirements). Alternatively, a greywater system captures all bathroom and laundry greywater and treats it to Class A standard. The treated greywater is connected to all laundry cold water, toilet flushing and all external taps.

2.25. Dog and Cat Containment

The estate has been declared a cat containment area which means all cats in these areas, regardless of age, must be contained. Impacts of dogs and cats on wildlife, check SLA buyers guide for information. Dog registration is compulsory in ACT.

2.26. 7 Star NatHERS

The 2022 National Construction Code required all new houses and apartments to meet a minimum energy efficiency rating of 7 stars under the Nationwide House Energy Rating Scheme. Higher ratings are encouraged in the estate.

The scheme covers provisions on orientation and layout, glazing and openings, insulation, ventilation, heating and cooling, lighting and colour/material selection.

Further information can be found on the [Nationwide House Energy Rating Scheme \(NatHERS\)](#) website.



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Annexure A - Estate Plan

Below is the Estate Plan for Jacka 2

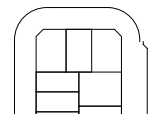
Stage 1- Sections 22,23,24,25,28,29,30,31,32,33,34,35,36,37,38,39,40,41,42,43,44.

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480 Northbourne Avenue, Dickson ACT 2602
GPO Box 158, Canberra ACT 2601

P 02 6205 0600 **F** 02 6207 5101
E suburbanland@act.gov.au

W suburbanland.act.gov.au
ABN 27 105 505 367



THIS IS NOT THE PART OF HOUSING DEVELOPMENT GUIDELINE.

JACKA 2 ESTATE MAP



NTS

LEGEND

- Stage 1 Boundary
- Single Residential Blocks
- Multi Unit
- Local Centre
- Pond
- Not part of this Guide- Subject to Future Approval



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Annexure B - Block Details Table

Below is the Block Details Table for Jacka 2

Stage 1-Sections 22,23,24,25,28,29,30,31,32,33,34,35,36,37,38,39,40,41,42,43,44.

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480 Northbourne Avenue, Dickson ACT 2602
GPO Box 158, Canberra ACT 2601

P 02 6205 0600 **F** 02 6207 5101
E suburbanland@act.gov.au

W suburbanland.act.gov.au
ABN 27 105 505 367

Numeric Section	Numeriuc Block	Area (m2)	Maximum Dwelling(s)	Block Typology	Compact Block	Mid-sized Block	Large Block	Multi Unit	Blocks with mid-sized block provision between 500m2 and 550m2	Corner Block	Surveillance Block	Mandatory Number of Storeys	Mandatory Build to Boundary	Limited Development Potential Block	Bushfire Prone Requirements Apply (BAL)	Mandatory Garage Location	Letterbox to Open Space	Habitable Room, Other than Bedroom Fronting Open Space	Upper Level PPOS Permitted	Active Frontage	Detail Design Plan Page Number (Plan Number)	Fencing Control Plan Page Number (Plan Number)	Block Fills Plan Page Number (Plan Number)	Integrated Development Plan Page Number (Plan Number)	
22	1	495	1	Mid-size		v				v											29 (6)	35 (3)	56 (14)	-	
	2	391	1	Mid-size		v																29 (6)	35 (3)	56 (14)	-
	3	420	1	Mid-size		v																29 (6)	35 (3)	56 (14)	-
	4	622	1	Large			v				v				v							29 (6)	35 (3)	56 (14)	-
	5	453	1	Mid-size		v									v							29 (6)	35 (3)	56 (14)	-
	6	453	1	Mid-size		v									v							29 (6)	35 (3)	56 (14)	-
	7	453	1	Mid-size		v									v							29 (6)	35 (3)	56 (14)	-
	8	453	1	Mid-size		v									v							29 (6)	35 (3)	56 (14)	-
	9	588	1	Large			v								v							29 (6)	35 (3)	56 (14)	-
	10	510	1	Large			v		v						v							29 (6)	35 (3)	57 (15)	-
	11	554	1	Large			v								v							29 (6)	35 (3)	57 (15)	-
	12	686	1	Large			v				v				v							29 (6)	35 (3)	57 (15)	-
	13	681	1	Large			v								v							29 (6)	35 (3)	57 (15)	-
	14	600	1	Large			v				v				v							29 (6)	35 (3)	57 (15)	-
	15	572	1	Large			v															29 (6)	35 (3)	57 (15)	-
	16	582	1	Large			v															29 (6)	35 (3)	57 (15)	-
	17	453	1	Mid-size		v																29 (6)	35 (3)	56 (14)	-
	18	453	1	Mid-size		v																29 (6)	35 (3)	56 (14)	-
	19	453	1	Mid-size		v																29 (6)	35 (3)	56 (14)	-
	20	453	1	Mid-size		v																29 (6)	35 (3)	56 (14)	-
	21	453	1	Mid-size		v																29 (6)	35 (3)	56 (14)	-
23	1	438	1	Mid-size		v				v											29 (6)	35 (3)	56 (14)	-	
	2	457	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
	3	397	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
	4	584	1	Large			v			v											29 (6)	35 (3)	56 (14)	-	
	5	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
	6	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
	7	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
	8	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
	9	485	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
	10	675	1	Large			v														29 (6)	35 (3)	56 (14)	-	
	11	681	1	Large			v														29 (6)	35 (3)	55 (13)	-	
	12	572	1	Large			v									v					29 (6)	35 (3)	55 (13)	-	
	13	572	1	Large			v									v					29 (6)	35 (3)	55 (13)	-	
	14	606	1	Large			v									v					29 (6)	35 (3)	55 (13)	-	
	15	589	1	Large			v									v					31 (8)	35 (3)	55 (13)	-	
	16	501	1	Large			v		v							v					31 (8)	35 (3)	55 (13)	-	
	17	501	1	Large			v		v							v					31 (8)	35 (3)	55 (13)	-	
	18	501	1	Large			v		v							v					31 (8)	35 (3)	55 (13)	-	
	19	501	1	Large			v		v							v					31 (8)	35 (3)	54 (12)	-	
	20	501	1	Large			v		v							v					31 (8)	35 (3)	54 (12)	-	
	21	501	1	Large			v		v							v					31 (8)	35 (3)	54 (12)	-	
	22	629	1	Large			v									v					31 (8)	35 (3)	54 (12)	-	
	23	729	1	Large			v				v					v					31 (8)	35 (3)	54 (12)	-	

Numeric Section	Numeriuc Block	Area (m2)	Maximum Dwelling(s)	Block Typology	Compact Block	Mid-sized Block	Large Block	Multi Unit	Blocks with mid-sized block provision between 500m2 and 550m2	Corner Block	Surveillance Block	Mandatory Number of Storeys	Mandatory Build to Boundary	Limited Development Potential Block	Bushfire Prone Requirements Apply (BAL)	Mandatory Garage Location	Letterbox to Open Space	Habitable Room, Other than Bedroom Fronting Open Space	Upper Level PPOS Permitted	Active Frontage	Detail Design Plan Page Number (Plan Number)	Fencing Control Plan Page Number (Plan Number)	Block Fills Plan Page Number (Plan Number)	Integrated Development Plan Page Number (Plan Number)
23	24	607	1	Large			v								v						31 (8)	35 (3)	54 (12)	-
	25	639	1	Large			v			v					v						31 (8)	35 (3)	54 (12)	-
	26	669	1	Large			v														31 (8)	35 (3)	54 (12)	-
	27	501	1	Large			v		v												31 (8)	35 (3)	54 (12)	-
	28	501	1	Large			v		v												31 (8)	35 (3)	55 (13)	-
	29	501	1	Large			v		v												31 (8)	35 (3)	55 (13)	-
	30	501	1	Large			v		v												31 (8)	35 (3)	55 (13)	-
	31	501	1	Large			v		v												31 (8)	35 (3)	55 (13)	-
	32	501	1	Large			v		v												31 (8)	35 (3)	55 (13)	-
	33	708	1	Large			v														29 (6)	35 (3)	55 (13)	-
	34	617	1	Large			v														29 (6)	35 (3)	55 (13)	-
	35	634	1	Large			v														29 (6)	35 (3)	55 (13)	-
	36	636	1	Large			v														29 (6)	35 (3)	55 (13)	-
	37	562	1	Large			v														29 (6)	35 (3)	56 (14)	-
	38	467	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-
	39	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-
	40	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-
	41	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-
42	455	1	Mid-size		v															29 (6)	35 (3)	56 (14)	-	
24	1	584	1	Large			v			v				v							30 (7)	35 (3)	52 (10)	-
	2	501	1	Large			v		v												30 (7)	35 (3)	52 (10)	-
	3	574	1	Large			v			v											30 (7)	35 (3)	52 (10)	-
	4	540	1	Large			v		v												30 (7)	35 (3)	52 (10)	-
	5	540	1	Large			v		v												30 (7)	35 (3)	52 (10)	-
	6	690	1	Large			v														30 (7)	35 (3)	52 (10)	-
	7	2056	11	Multi Unit				v													30 (7)	35 (3)	53 (11)	-
	8	543	1	Large			v		v												30 (7)	35 (3)	53 (11)	-
	9	540	1	Large			v		v												30 (7)	35 (3)	53 (11)	-
	10	510	1	Large			v		v												30 (7)	35 (3)	53 (11)	-
	11	539	1	Large			v		v												31 (8)	35 (3)	53 (11)	-
	12	540	1	Large			v		v												31 (8)	35 (3)	53 (11)	-
	13	580	1	Large			v														31 (8)	35 (3)	53 (11)	-
	14	730	1	Large			v			v											31 (8)	35 (3)	53 (11)	-
	15	633	1	Large			v														31 (8)	35 (3)	53 (11)	-
	16	613	1	Large			v			v											31 (8)	35 (3)	53 (11)	-
	17	577	1	Large			v														31 (8)	35 (3)	53 (11)	-
	18	542	1	Large			v		v												31 (8)	35 (3)	53 (11)	-
	19	634	1	Large			v														31 (8)	35 (3)	53 (11)	-
	20	562	1	Large			v														31 (8)	35 (3)	53 (11)	-
	21	645	1	Large			v														30 (7)	35 (3)	53 (11)	-
	22	732	1	Large			v														30 (7)	35 (3)	53 (11)	-
	23	893	1	Large			v														30 (7)	35 (3)	52 (10)	-
	24	659	1	Large			v														30 (7)	35 (3)	52 (10)	-
	25	564	1	Large			v														30 (7)	35 (3)	52 (10)	-

Numeric Section	Numeriuc Block	Area (m2)	Maximum Dwelling(s)	Block Typology	Compact Block	Mid-sized Block	Large Block	Multi Unit	Blocks with mid-sized block provision between 500m2 and 550m2	Corner Block	Surveillance Block	Mandatory Number of Storeys	Mandatory Build to Boundary	Limited Development Potential Block	Bushfire Prone Requirements Apply (BAL)	Mandatory Garage Location	Letterbox to Open Space	Habitable Room, Other than Bedroom Fronting Open Space	Upper Level PPOS Permitted	Active Frontage	Detail Design Plan Page Number (Plan Number)	Fencing Control Plan Page Number (Plan Number)	Block Fills Plan Page Number (Plan Number)	Integrated Development Plan Page Number (Plan Number)	
25	1	499	1	Mid-size		v				v		v									28 (5)	35 (3)	52 (10)	-	
	2	375	1	Mid-size		v																28 (5)	35 (3)	52 (10)	-
	3	375	1	Mid-size		v																28 (5)	35 (3)	52 (10)	-
	4	562	1	Large			v				v											28 (5)	35 (3)	52 (10)	-
	5	684	1	Large			v															28 (5)	35 (3)	52 (10)	-
	6	507	1	Large			v			v					v							30 (7)	35 (3)	52 (10)	-
	7	498	1	Mid-size		v																30 (7)	35 (3)	52 (10)	-
	8	489	1	Mid-size		v																30 (7)	35 (3)	52 (10)	-
	9	498	1	Mid-size		v																30 (7)	35 (3)	52 (10)	-
	10	499	1	Mid-size		v																30 (7)	35 (3)	52 (10)	-
	11	496	1	Mid-size		v									v							30 (7)	35 (3)	52 (10)	-
	12	631	1	Large				v														30 (7)	35 (3)	53 (11)	-
	13	594	1	Large				v														30 (7)	35 (3)	53 (11)	-
	14	701	1	Large				v														30 (7)	35 (3)	53 (11)	-
	15	626	1	Large				v														30 (7)	35 (3)	53 (11)	-
	16	600	1	Large				v														30 (7)	35 (3)	53 (11)	-
	17	595	1	Large				v			v											30 (7)	35 (3)	53 (11)	-
	18	600	1	Large				v														30 (7)	35 (3)	53 (11)	-
	19	660	1	Large				v			v											30 (7)	35 (3)	53 (11)	-
	20	545	1	Large				v		v												30 (7)	35 (3)	53 (11)	-
	21	626	1	Large				v														30 (7)	35 (3)	53 (11)	-
	22	614	1	Large				v														30 (7)	35 (3)	53 (11)	-
	23	550	1	Large				v														30 (7)	35 (3)	53 (11)	-
	24	567	1	Large				v														30 (7)	35 (3)	52 (10)	-
	25	655	1	Large				v														30 (7)	35 (3)	52 (10)	-
	26	623	1	Large				v														30 (7)	35 (3)	52 (10)	-
	27	596	1	Large				v														30 (7)	35 (3)	52 (10)	-
	28	564	1	Large				v														30 (7)	35 (3)	52 (10)	-
	29	666	1	Large				v														30 (7)	35 (3)	52 (10)	-
31	1	2307	11	Multi Unit				v		v		v									27 (4)	34 (2)	47 (5)	-	
	2	450	1	Mid-size		v															27 (4)	34 (2)	47 (5)	-	
	3	450	1	Mid-size		v															27 (4)	34 (2)	47 (5)	-	
	4	450	1	Mid-size		v															27 (4)	34 (2)	47 (5)	-	
	5	450	1	Mid-size		v															27 (4)	34 (2)	47 (5)	-	
	6	450	1	Mid-size		v															27 (4)	34 (2)	47 (5)	-	
	7	540	1	Large			v		v												27 (4)	34 (2)	48 (6)	-	
	8	525	1	Large			v		v												27 (4)	34 (2)	48 (6)	-	
	9	450	1	Mid-size		v															27 (4)	34 (2)	48 (6)	-	
	10	525	1	Large			v		v												28 (5)	34 (2)	48 (6)	-	
	11	540	1	Large			v		v												28 (5)	34 (2)	48 (6)	-	
	12	450	1	Mid-size		v															28 (5)	34 (2)	48 (6)	-	
	13	420	1	Mid-size		v															28 (5)	34 (2)	48 (6)	-	
	14	623	1	Large			v				v										28 (5)	34 (2)	48 (6)	-	
	15	601	1	Large			v				v										28 (5)	34 (2)	48 (6)	-	
	16	450	1	Mid-size		v															28 (5)	34 (2)	48 (6)	-	

Numeric Section	Numeriuc Block	Area (m2)	Maximum Dwelling(s)	Block Typology	Compact Block	Mid-sized Block	Large Block	Multi Unit	Blocks with mid-sized block provision between 500m2 and 550m2	Corner Block	Surveillance Block	Mandatory Number of Storeys	Mandatory Build to Boundary	Limited Development Potential Block	Bushfire Prone Requirements Apply (BAL)	Mandatory Garage Location	Letterbox to Open Space	Habitable Room, Other than Bedroom Fronting Open Space	Upper Level PPOS Permitted	Active Frontage	Detail Design Plan Page Number (Plan Number)	Fencing Control Plan Page Number (Plan Number)	Block Fills Plan Page Number (Plan Number)	Integrated Development Plan Page Number (Plan Number)
31	17	450	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	18	540	1	Large			√		√												28 (5)	34 (2)	48 (6)	-
	19	525	1	Large			√		√												28 (5)	34 (2)	48 (6)	-
	20	450	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	21	525	1	Large			√		√												28 (5)	34 (2)	48 (6)	-
	22	540	1	Large			√		√												28 (5)	34 (2)	47 (5)	-
	23	450	1	Mid-size		√															28 (5)	34 (2)	47 (5)	-
	24	450	1	Mid-size		√															26 (3)	34 (2)	47 (5)	-
	25	450	1	Mid-size		√															26 (3)	34 (2)	47 (5)	-
	26	450	1	Mid-size		√															26 (3)	34 (2)	47 (5)	-
27	450	1	Mid-size		√															26 (3)	34 (2)	47 (5)	-	
30	2	430	1	Mid-size		√				√											27 (4)	34 (2)	47 (5)	-
	3	420	1	Mid-size		√															27 (4)	34 (2)	47 (5)	-
	4	420	1	Mid-size		√															27 (4)	34 (2)	47 (5)	-
	5	420	1	Mid-size		√															27 (4)	34 (2)	47 (5)	-
	6	479	1	Mid-size		√															28 (5)	34 (2)	47 (5)	-
	7	539	1	Large			√		√												28 (5)	34 (2)	47 (5)	-
	8	450	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	9	450	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	10	454	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	11	436	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	12	458	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	13	573	1	Large			√							√							28 (5)	34 (2)	48 (6)	-
	14	553	1	Large			√			√								√	√		28 (5)	34 (2)	48 (6)	40 (4)
	15	652	1	Large			√											√	√		28 (5)	34 (2)	48 (6)	40 (4)
	16	647	1	Large			√											√	√		28 (5)	34 (2)	48 (6)	40 (4)
	17	574	1	Large			√			√								√	√		28 (5)	34 (2)	48 (6)	40 (4)
	18	715	1	Large			√														28 (5)	34 (2)	48 (6)	-
	19	420	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	20	420	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
	21	450	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-
22	450	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-	
23	450	1	Mid-size		√															28 (5)	34 (2)	48 (6)	-	
24	539	1	Large			√		√												28 (5)	34 (2)	47 (5)	-	
25	479	1	Mid-size		√															28 (5)	34 (2)	47 (5)	-	
26	420	1	Mid-size		√															27 (4)	34 (2)	47 (5)	-	
27	420	1	Mid-size		√															27 (4)	34 (2)	47 (5)	-	
28	420	1	Mid-size		√															27 (4)	34 (2)	47 (5)	-	
1	430	1	Mid-size		√					√											27 (4)	34 (2)	47 (5)	-
29	2	566	1	Large			√			√											28 (5)	34 (2)	50 (8)	-
	3	420	1	Mid-size		√															28 (5)	34 (2)	51 (9)	-
	4	450	1	Mid-size		√															28 (5)	34 (2)	51 (9)	-
	5	450	1	Mid-size		√															28 (5)	34 (2)	51 (9)	-
	6	464	1	Mid-size		√															28 (5)	34 (2)	51 (9)	-
	7	757	1	Large			√								√						28 (5)	34 (2)	51 (9)	-

Numeric Section	Numeriuc Block	Area (m2)	Maximum Dwelling(s)	Block Typology	Compact Block	Mid-sized Block	Large Block	Multi Unit	Blocks with mid-sized block provision between 500m2 and 550m2	Corner Block	Surveillance Block	Mandatory Number of Storeys	Mandatory Build to Boundary	Limited Development Potential Block	Bushfire Prone Requirements Apply (BAL)	Mandatory Garage Location	Letterbox to Open Space	Habitable Room, Other than Bedroom Fronting Open Space	Upper Level PPOS Permitted	Active Frontage	Detail Design Plan Page Number (Plan Number)	Fencing Control Plan Page Number (Plan Number)	Block Fills Plan Page Number (Plan Number)	Integrated Development Plan Page Number (Plan Number)
29	8	518	1	Large			v		v	v				v							28 (5)	34 (2)	51 (9)	-
	9	583	1	Large			v														28 (5)	34 (2)	51 (9)	-
	10	578	1	Large			v														28 (5)	34 (2)	51 (9)	-
	11	682	1	Large			v			v											28 (5)	34 (2)	51 (9)	-
	12	657	1	Large			v								v						28 (5)	34 (2)	51 (9)	-
	13	529	1	Large			v		v												28 (5)	34 (2)	51 (9)	-
	14	539	1	Large			v		v												28 (5)	34 (2)	51 (9)	-
	15	450	1	Mid-size		v															28 (5)	34 (2)	51 (9)	-
	16	450	1	Mid-size		v															28 (5)	34 (2)	51 (9)	-
	17	420	1	Mid-size		v															28 (5)	34 (2)	51 (9)	-
	1	566	1	Large			v			v										28 (5)	34 (2)	50 (8)	-	
28	2	447	1	Mid-size		v				v											27 (4)	34 (2)	51 (9)	-
	3	416	1	Mid-size		v															27 (4)	34 (2)	51 (9)	-
	4	617	1	Large			v							v							27 (4)	34 (2)	51 (9)	-
	5	540	1	Large			v		v												27 (4)	34 (2)	51 (9)	-
	6	912	1	Large			v			v											28 (5)	34 (2)	51 (9)	-
	7	847	1	Large			v														28 (5)	34 (2)	51 (9)	39 (3)
	1	567	1	Large			v			v											28 (5)	34 (2)	51 (9)	39 (3)
32	2	329	1	Mid-size		v					v		v			v					27 (4)	34 (2)	50 (8)	39 (3)
	3	179	1	Compact	v																27 (4)	34 (2)	50 (8)	39 (3)
	4	179	1	Compact	v																27 (4)	34 (2)	50 (8)	39 (3)
	5	179	1	Compact	v																27 (4)	34 (2)	50 (8)	39 (3)
	6	179	1	Compact	v																27 (4)	34 (2)	50 (8)	39 (3)
	7	179	1	Compact	v																27 (4)	34 (2)	50 (8)	39 (3)
	8	179	1	Compact	v																27 (4)	34 (2)	50 (8)	39 (3)
	9	320	1	Mid-size		v				v	v		v			v					27 (4)	34 (2)	50 (8)	39 (3)
	33	2	179	1	Compact	v																27 (4)	34 (2)	50 (8)
3		372	1	Mid-size		v				v	v					v					27 (4)	34 (2)	50 (8)	39 (3)
4		289	1	Mid-size		v				v		v	v			v			v		27 (4)	34 (2)	50 (8)	39 (3)
5		179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
6		179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
7		179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
8		209	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
9		209	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
10		179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
11		179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
12		179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
13		179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
14		269	1	Mid-size		v						v	v			v			v		27 (4)	34 (2)	50 (8)	39 (3)
16		299	1	Mid-size		v						v	v			v			v		27 (4)	34 (2)	50 (8)	39 (3)
17		209	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
18	209	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)	
19	209	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)	
20	179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)	
21	179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)	

Numeric Section	Numeriuc Block	Area (m2)	Maximum Dwelling(s)	Block Typology	Compact Block	Mid-sized Block	Large Block	Multi Unit	Blocks with mid-sized block provision between 500m2 and 550m2	Corner Block	Surveillance Block	Mandatory Number of Storeys	Mandatory Build to Boundary	Limited Development Potential Block	Bushfire Prone Requirements Apply (BAL)	Mandatory Garage Location	Letterbox to Open Space	Habitable Room, Other than Bedroom Fronting Open Space	Upper Level PPOS Permitted	Active Frontage	Detail Design Plan Page Number (Plan Number)	Fencing Control Plan Page Number (Plan Number)	Block Fills Plan Page Number (Plan Number)	Integrated Development Plan Page Number (Plan Number)
33	22	179	1	Compact	v							v							v		27 (4)	34 (2)	50 (8)	39 (3)
	23	284	1	Mid-size		v				v		v	v			v			v		27 (4)	34 (2)	50 (8)	39 (3)
34	1	260	1	Mid-size		v				v		v	v			v			v		27 (4)	34 (2)	47 (5)	39 (3)
	2	179	1	Compact	v							v							v		27 (4)	34 (2)	47 (5)	39 (3)
	3	179	1	Compact	v							v							v		27 (4)	34 (2)	47 (5)	39 (3)
	4	269	1	Mid-size		v						v	v			v			v		27 (4)	34 (2)	47 (5)	39 (3)
	5	269	1	Mid-size		v						v	v			v			v		27 (4)	34 (2)	47 (5)	39 (3)
	6	179	1	Compact	v							v							v		27 (4)	34 (2)	47 (5)	39 (3)
	7	179	1	Compact	v							v							v		27 (4)	34 (2)	47 (5)	39 (3)
	8	260	1	Mid-size		v					v		v	v			v		v		27 (4)	34 (2)	47 (5)	39 (3)
36	1	625	1	Large			v			v											26 (3)	34 (2)	46 (4)	-
	2	570	1	Large			v														26 (3)	34 (2)	46 (4)	-
	3	600	1	Large			v		v												26 (3)	34 (2)	46 (4)	-
	4	540	1	Large			v		v												26 (3)	34 (2)	46 (4)	-
	5	535	1	Large			v		v	v											26 (3)	34 (2)	46 (4)	-
	6	535	1	Large			v		v	v											26 (3)	34 (2)	46 (4)	-
	7	540	1	Large			v		v												26 (3)	34 (2)	46 (4)	-
	8	540	1	Large			v		v												26 (3)	34 (2)	46 (4)	-
	9	540	1	Large			v														26 (3)	34 (2)	46 (4)	-
	10	607	1	Large			v			v					v						26 (3)	34 (2)	46 (4)	-
37	1	551	2	Multi Unit				v		v	v	v	v			v			v		26 (3)	34 (2)	45 (3)	-
	2	195	1	Compact	v							v							v		26 (3)	34 (2)	45 (3)	38 (2)
	3	195	1	Compact	v							v							v		26 (3)	34 (2)	45 (3)	38 (2)
	4	306	1	Mid-size		v						v	v			v			v		26 (3)	34 (2)	45 (3)	38 (2)
	5	200	1	Compact	v							v				v			v		26 (3)	34 (2)	45 (3)	38 (2)
	6	180	1	Compact	v							v							v		26 (3)	34 (2)	45 (3)	38 (2)
	7	180	1	Compact	v							v							v		26 (3)	34 (2)	45 (3)	38 (2)
	8	334	1	Mid-size		v				v	v	v	v			v			v		26 (3)	34 (2)	45 (3)	38 (2)
38	1	1687	3	Multi Unit				v		v											26 (3)	34 (2)	45 (3)	-
	2	512	1	Large			v		v												26 (3)	34 (2)	45 (3)	-
	3	450	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	4	450	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	5	450	1	Mid-size		v					s										26 (3)	34 (2)	45 (3)	-
	6	450	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	7	450	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	8	450	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	9	606	1	Large			v			v							v				26 (3)	34 (2)	45 (3)	38 (2)
	10	627	1	Large			v			v							v				26 (3)	34 (2)	45 (3)	38 (2)
	11	557	1	Large			v														26 (3)	34 (2)	45 (3)	-
	12	403	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	13	398	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	14	392	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	15	387	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	16	381	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-
	17	455	1	Mid-size		v															26 (3)	34 (2)	45 (3)	-

Numeric Section	Numeriuc Block	Area (m2)	Maximum Dwelling(s)	Block Typology	Compact Block	Mid-sized Block	Large Block	Multi Unit	Blocks with mid-sized block provision between 500m2 and 550m2	Corner Block	Surveillance Block	Mandatory Number of Storeys	Mandatory Build to Boundary	Limited Development Potential Block	Bushfire Prone Requirements Apply (BAL)	Mandatory Garage Location	Letterbox to Open Space	Habitable Room, Other than Bedroom Fronting Open Space	Upper Level PPOS Permitted	Active Frontage	Detail Design Plan Page Number (Plan Number)	Fencing Control Plan Page Number (Plan Number)	Block Fills Plan Page Number (Plan Number)	Integrated Development Plan Page Number (Plan Number)
38	18	465	1	Mid-size		√															26 (3)	34 (2)	45 (3)	-
	19	544	1	Large			√		√												26 (3)	34 (2)	45 (3)	-
41	13	564	1	Large			√			√				√							24 (1)	33 (1)	44 (2)	-
	14	453	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
	1	668	1	Large			√			√											24 (1)	33 (1)	44 (2)	-
	2	374	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
	3	375	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
	4	375	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
	5	375	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
	6	572	1	Large				√			√						√				24 (1)	33 (1)	44 (2)	38 (2)
	7	613	1	Large				√			√						√				24 (1)	33 (1)	44 (2)	38 (2)
	8	450	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
	9	375	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
	10	375	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-
11	375	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-	
12	448	1	Mid-size		√															24 (1)	33 (1)	44 (2)	-	
40	1	360	1	Mid-size		√				√		√	√			√			√	24 (1)	33 (1)	44 (2)	38 (2)	
	2	180	1	Compact	√							√							√	24 (1)	33 (1)	44 (2)	38 (2)	
	3	180	1	Compact	√							√							√	24 (1)	33 (1)	44 (2)	38 (2)	
	4	270	1	Mid-size		√						√	√			√			√	24 (1)	33 (1)	44 (2)	38 (2)	
	5	270	1	Mid-size		√						√	√			√			√	24 (1)	33 (1)	44 (2)	38 (2)	
	6	168	1	Compact	√							√							√	24 (1)	33 (1)	44 (2)	38 (2)	
	7	257	1	Mid-size		√						√	√			√			√	24 (1)	33 (1)	44 (2)	38 (2)	
	8	502	2	Multi Unit				√		√		√				√			√	24 (1)	33 (1)	44 (2)	-	
43	1	519	1	Large			√		√	√										24 (1)	33 (1)	43 (1)	37 (1)	
	2	456	1	Mid-size		√														24 (1)	33 (1)	43 (1)	37 (1)	
	3	619	1	Large			√			√						√				24 (1)	33 (1)	43 (1)	-	
	4	548	1	Large			√		√	√				√		√				24 (1)	33 (1)	43 (1)	-	
	5	412	1	Mid-size		√														24 (1)	33 (1)	43 (1)	-	
	6	340	1	Mid-size		√														24 (1)	33 (1)	43 (1)	37 (1)	
	7	490	1	Mid-size		√					√									24 (1)	33 (1)	43 (1)	37 (1)	
42	1	501	2	Multi Unit				√	√	√	√	√				√			√	24 (1)	33 (1)	43 (1)	-	
	2	240	1	Compact	√							√							√	24 (1)	33 (1)	43 (1)	37 (1)	
	3	291	1	Mid-size		√						√							√	24 (1)	33 (1)	43 (1)	37 (1)	
	4	180	1	Compact	√							√							√	24 (1)	33 (1)	43 (1)	37 (1)	
	5	180	1	Compact	√							√							√	24 (1)	33 (1)	43 (1)	37 (1)	
	6	240	1	Compact	√							√							√	24 (1)	33 (1)	43 (1)	37 (1)	
	7	240	1	Compact	√							√							√	24 (1)	33 (1)	44 (2)	37 (1)	
	8	180	1	Compact	√							√							√	24 (1)	33 (1)	44 (2)	37 (1)	
	9	168	1	Compact	√							√							√	24 (1)	33 (1)	44 (2)	37 (1)	
	10	224	1	Compact	√							√							√	24 (1)	33 (1)	44 (2)	37 (1)	
	11	717	2	Multi Unit				√		√	√	√	√	√		√			√	24 (1)	33 (1)	44 (2)	-	
44	1	8451	26	Multi Unit				√		√					√					24 (1)	33 (1)	43 (1)	-	
35	1	5311	48	Multi Unit				√				√									25 (2)	33 (1)	49 (7)	-
	2	1971	18	Multi Unit				√				√									27 (4)	34 (2)	49 (7)	-
39	1	8270	55	Multi Unit				√				√							√	25 (2)	33 (1)	-	-	



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Annexure C - Block Details Plans

Below is the Block Details Plans for Jacka 2

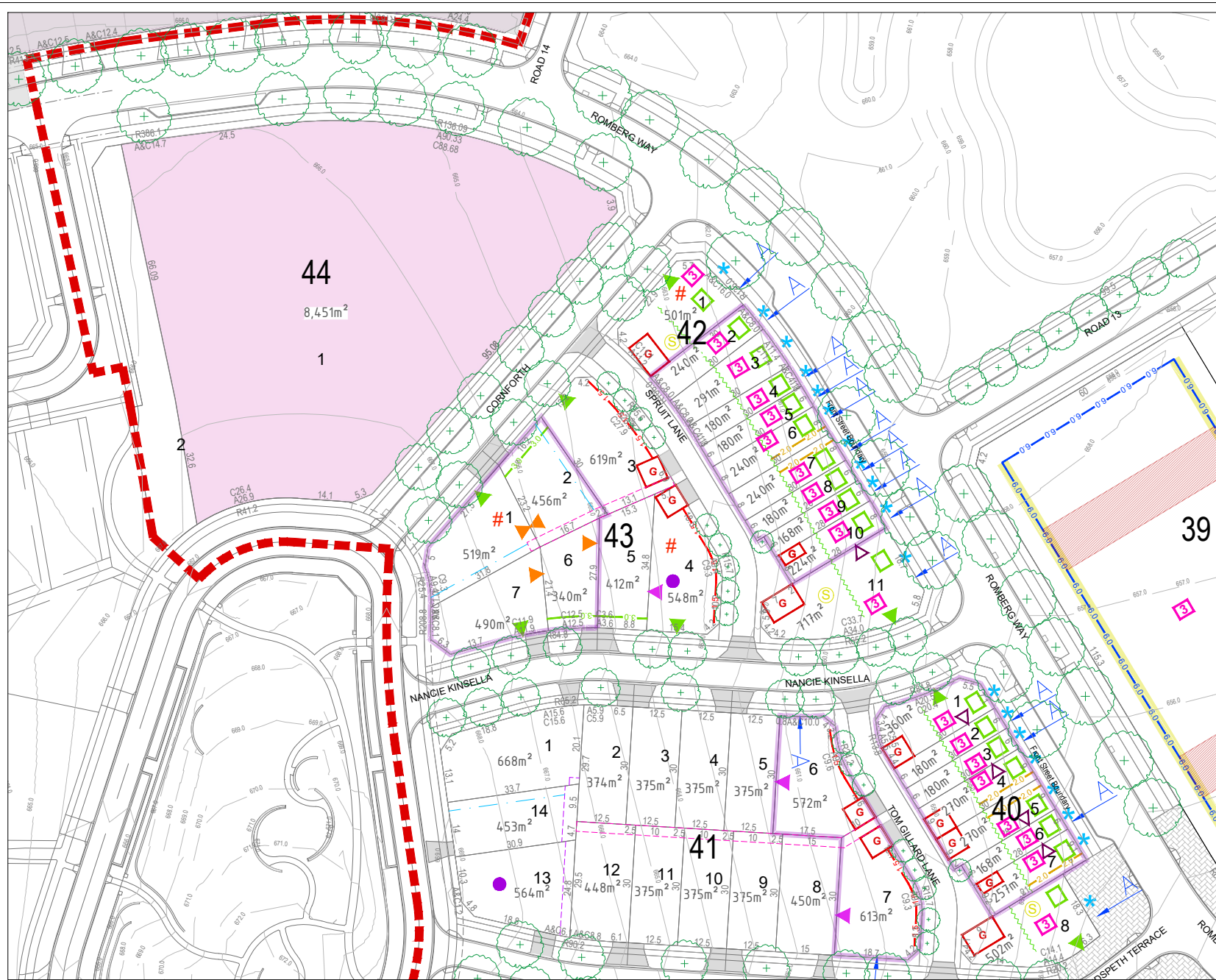
Stage 1- Sections 22,23,24,25,28,29,30,31,32,33,34,35,36,37,38,39,40,41,42,43,44.

We acknowledge the Ngunnawal people, the Traditional Custodians of the lands and waters where we live and work, and pay our respects to the elders past, present and future.

480 Northbourne Avenue, Dickson ACT 2602
GPO Box 158, Canberra ACT 2601

P 02 6205 0600 **F** 02 6207 5101
E suburbanland@act.gov.au

W suburbanland.act.gov.au
ABN 27 105 505 367



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Sewer Access Required
- Easement Shared within Blocks
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAPZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85x1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

Minimum Setback 0m (metres) - Maximum Building Depth 12m

- 0.0 Minimum Setback 0m (metres)
- 0.9 Minimum Setback 0.9m (metres)
- 1.5 Minimum Setback 1.5m (metres)
- 2.0 Minimum Setback 2.0m (metres)
- 3.0 Minimum Setback 3.0m (metres)
- 4.0 Minimum Setback 4.0m (metres)
- 6.0 Minimum Setback 6.0m (metres)

Minimum Ground First and Second Floor Setback 4.0m (metres)

- Minimum Second Floor Setback 7.0m (metres)

- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

- Mandatory Garage Location
- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

0 10 20 30 40 50m
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.



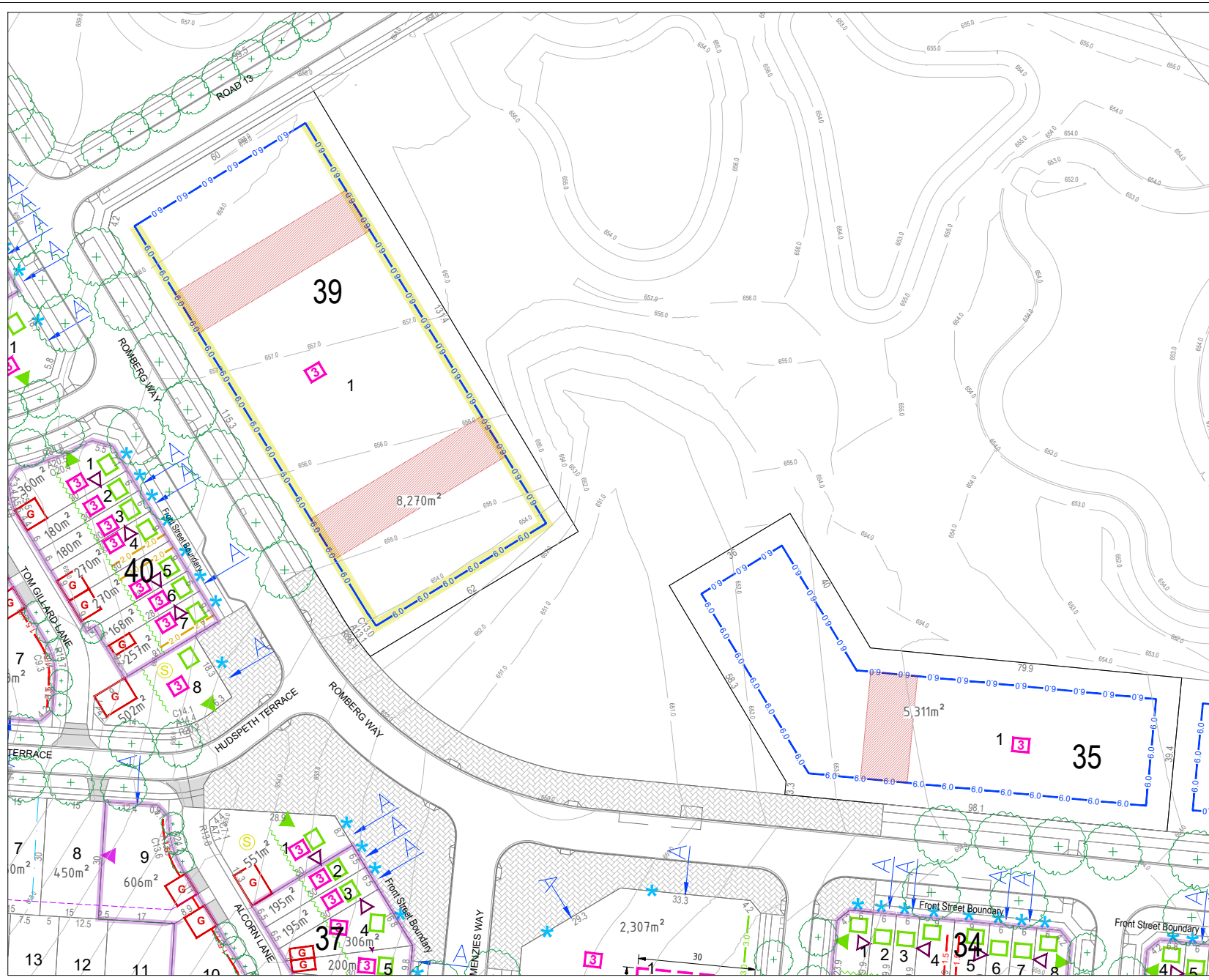
This plan is pending final approval from EPSDD.



Drawn	SG/LC	Date	26/02/2023
Checked	AT/LC	Date	26/02/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client	SUBURBAN LAND AGENCY
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Title	BLOCK DETAILS PLAN SHEET 1 of 8

Status	DETAIL DESIGN			
Page No.	33.02	Datum	AHD	Scale
Drawing Number			1:500	Size
				A1
				Revision



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Shared within Blocks
- Easement Sewer Access Required
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAPZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85X1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

Mandatory Build to Boundary

- Minimum Setback 0m (metres) - Maximum Building Depth 12m
- Minimum Setback 0.9m (metres)
- Minimum Setback 1.5m (metres)
- Minimum Setback 2.0m (metres)
- Minimum Setback 3.0m (metres)
- Minimum Setback 4.0m (metres)
- Minimum Setback 6.0m (metres)

Other Setbacks

- Minimum Ground First and Second Floor Setback 4.0m (metres)
- Minimum Second Floor Setback 7.0m (metres)
- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.
- Mandatory Garage Location
- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

0 10 20 30 40 50m
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.



HATCH | RobertsDay
redibox design group
Knight Frank

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Cardno
Shaping the Future

Cardno (NSW/ACT) Pty Ltd | ABN 95 001 145 035
Level 2, 14 Wormald Street
Symonston ACT 2609
Tel: 02 6112 4500 Fax: 02 6112 4599
Web: www.cardno.com.au

Client: **SUBURBAN LAND AGENCY**

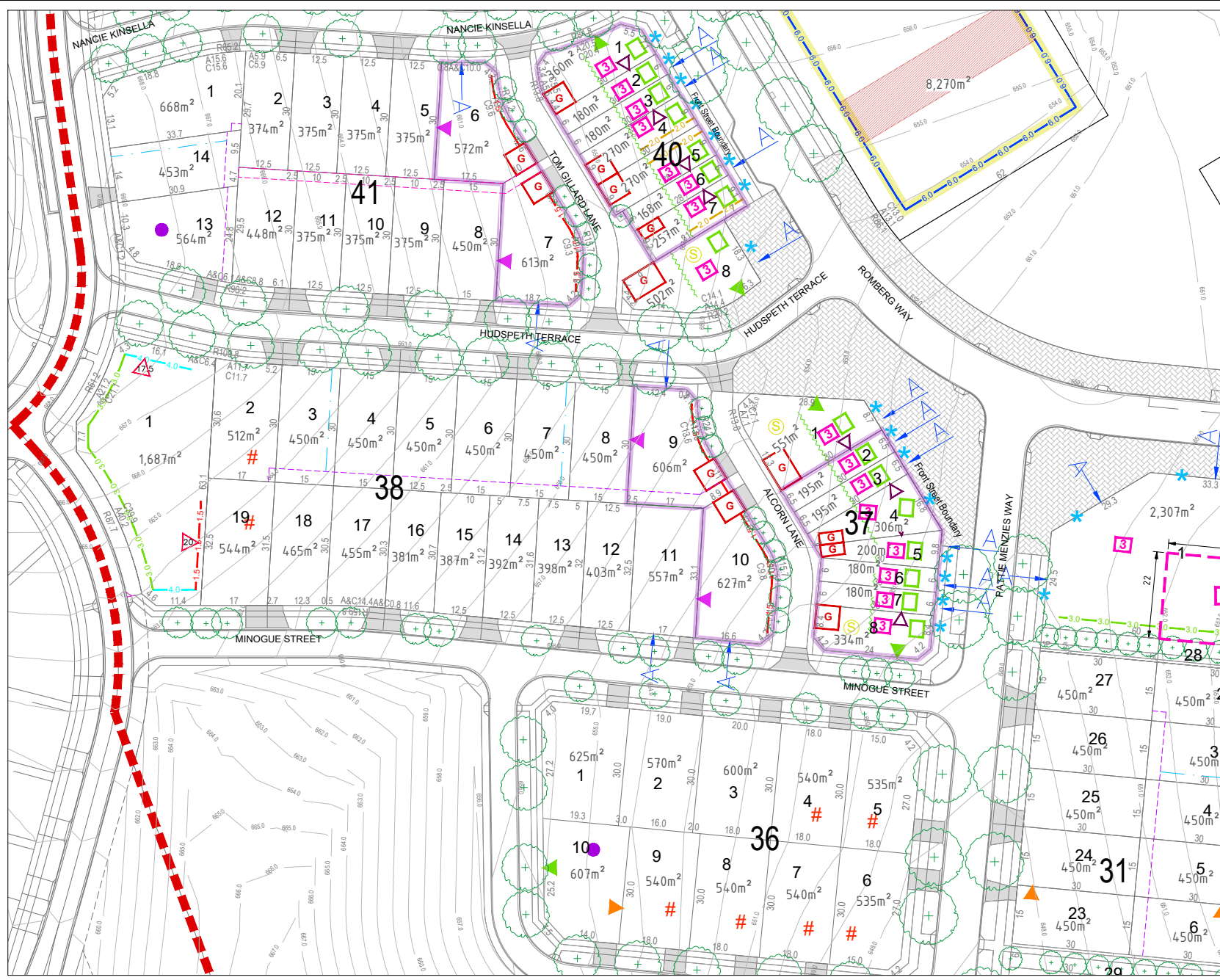
Project: **JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN**

Title: **BLOCK DETAILS PLAN SHEET 2 of 8**

Date: 26/02/2023
Checked: ATLC
Designed: ATLC
Verified: ATLC
Approved: ATLC

Status: **DETAIL DESIGN**

Page No: 33.03
Drawing Number: AHD
Scale: 1:500
Size: A1



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Sewer Access Required
- Easement Shared within Blocks
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAPZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85x1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code

- Mandatory Built to Boundary
- Minimum Setback 0m (metres)-Maximum Building Depth 12m
- Minimum Setback 0.9m (metres)
- Minimum Setback 1.5m (metres)
- Minimum Setback 2.0m (metres)
- Minimum Setback 3.0m (metres)
- Minimum Setback 4.0m (metres)
- Minimum Setback 6.0m (metres)
- Minimum Ground First and Second Floor Setback 4.0m (metres)
- Minimum Second Floor Setback 7.0m (metres)
- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code
- Mandatory Garage Location
- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

0 10 20 30 40 50m
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.



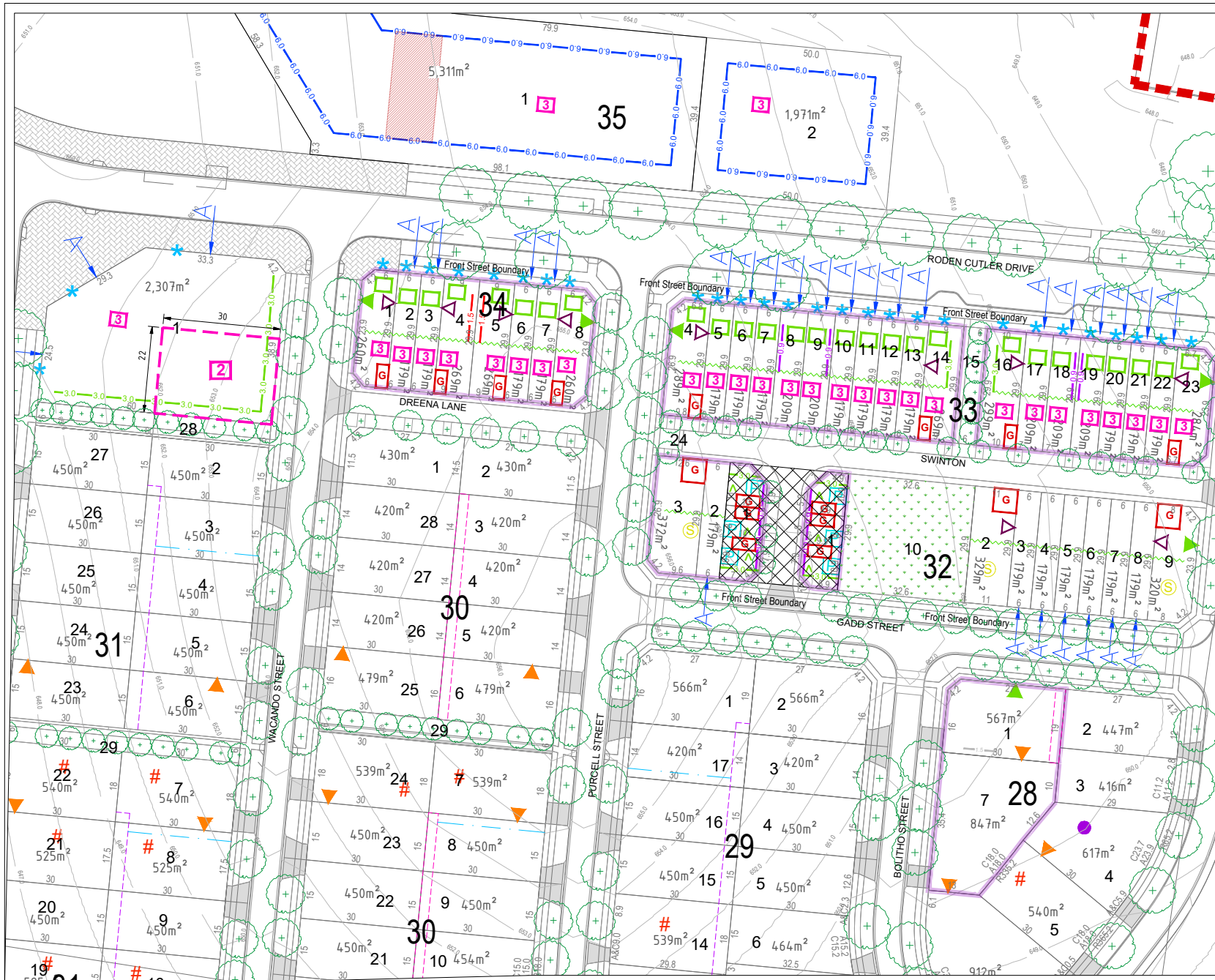
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Drawn	SG/LC	Date	26/02/2023
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Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client	SUBURBAN LAND AGENCY
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Title	BLOCK DETAILS PLAN SHEET 3 of 8

Status	DETAIL DESIGN			
Page No.	33.04	Datum	AHD	Scale
Drawing Number			1:500	Size
			A1	Revision



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Sewer Access Required
- Easement Shared within Blocks
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAPZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85x1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls all nominated setbacks apply as per the relevant TP code

- Mandatory Build to Boundary
- Minimum Setback 0m (metres)-Maximum Building Depth 12m
- Minimum Setback 0.9m (metres)
- Minimum Setback 1.5m (metres)
- Minimum Setback 2.0m (metres)
- Minimum Setback 3.0m (metres)
- Minimum Setback 4.0m (metres)
- Minimum Setback 6.0m (metres)
- Minimum Ground First and Second Floor Setback 4.0m (metres)
- Minimum Second Floor Setback 7.0m (metres)
- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code
- Mandatory Garage Location
- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

not part of this guide - subject to future approval

Rev.	Date	Description	Des.	Verf.	Appd.



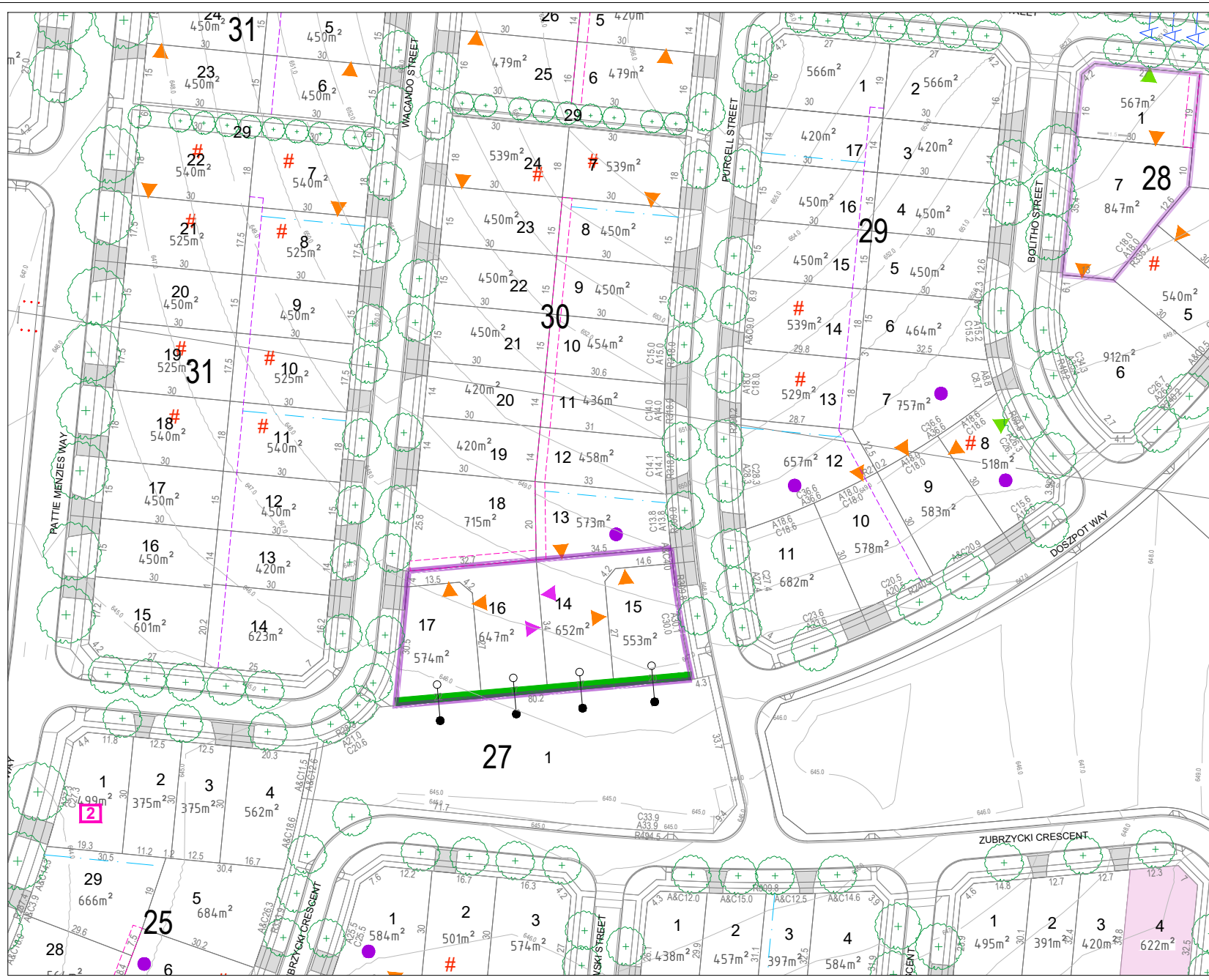
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Drawn	SG/LC	Date	26/02/2023
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Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client: SUBURBAN LAND AGENCY
 Project: JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
 Title: BLOCK DETAILS PLAN SHEET 4 of 8

SCALE 1:500			
Status	DETAIL DESIGN		
Page No.	33.05	Datum	AHD
Scale	1:500	Size	A1
Drawing Number		Revision	



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Sewer Access Required
- Easement Shared within Blocks
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAFZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85x1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

Setback Legend:

- Mandatory Build to Boundary
- 0.0 - Minimum Setback 0m (metres) - Maximum Building Depth 12m
- 0.9 - Minimum Setback 0.9m (metres)
- 1.5 - Minimum Setback 1.5m (metres)
- 2.0 - Minimum Setback 2.0m (metres)
- 3.0 - Minimum Setback 3.0m (metres)
- 4.0 - Minimum Setback 4.0m (metres)
- 6.0 - Minimum Setback 6.0m (metres)

Other Setbacks:

- Minimum Ground First and Second Floor Setback 4.0m (metres)
- Minimum Second Floor Setback 7.0m (metres)
- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

Other Symbols:

- Mandatory Garage Location
- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

0 10 20 30 40 50m
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.



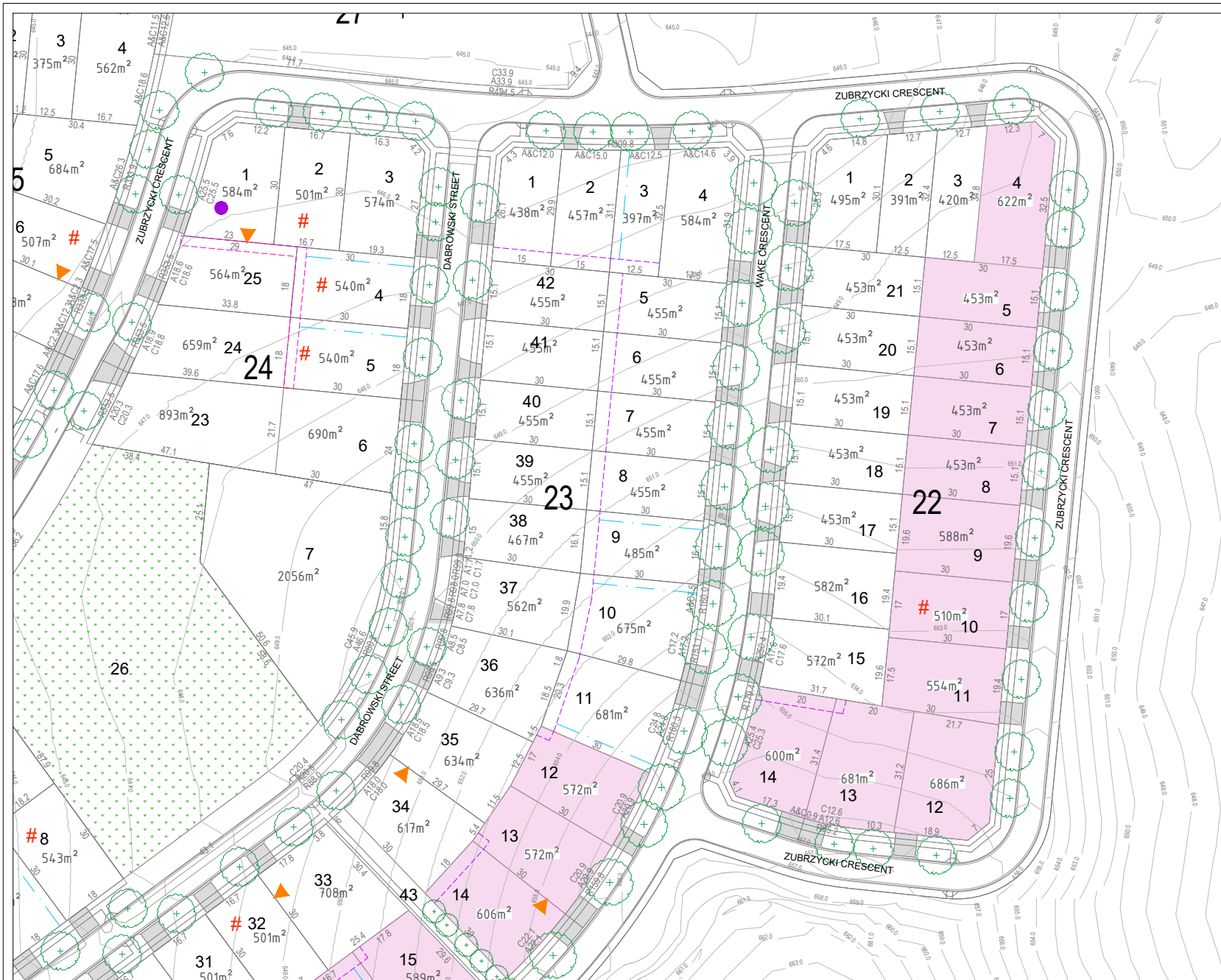
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Drawn	SG/LC	Date	26/02/2023
Checked	AT/LC	Date	26/02/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client	SUBURBAN LAND AGENCY
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Title	BLOCK DETAILS PLAN SHEET 5 of 8

Status	DETAIL DESIGN
Page No.	33.06
Datum	AHD
Scale	1:500
Size	A1
Drawing Number	
Revision	



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Sewer Access Required
- Easement Shared within Blocks
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAPZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85x1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code

Mandatory Build to Boundary

- Minimum Setback 0m (metres) - Maximum Building Depth 12m
- Minimum Setback 0.9m (metres)
- Minimum Setback 1.5m (metres)
- Minimum Setback 2.0m (metres)
- Minimum Setback 3.0m (metres)
- Minimum Setback 4.0m (metres)
- Minimum Setback 6.0m (metres)

Other Setbacks

- Minimum Ground First and Second Floor Setback 4.0m (metres)
- Minimum Second Floor Setback 7.0m (metres)
- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code

Mandatory Garage Location

- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

0 10 20 30 40 50m
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.



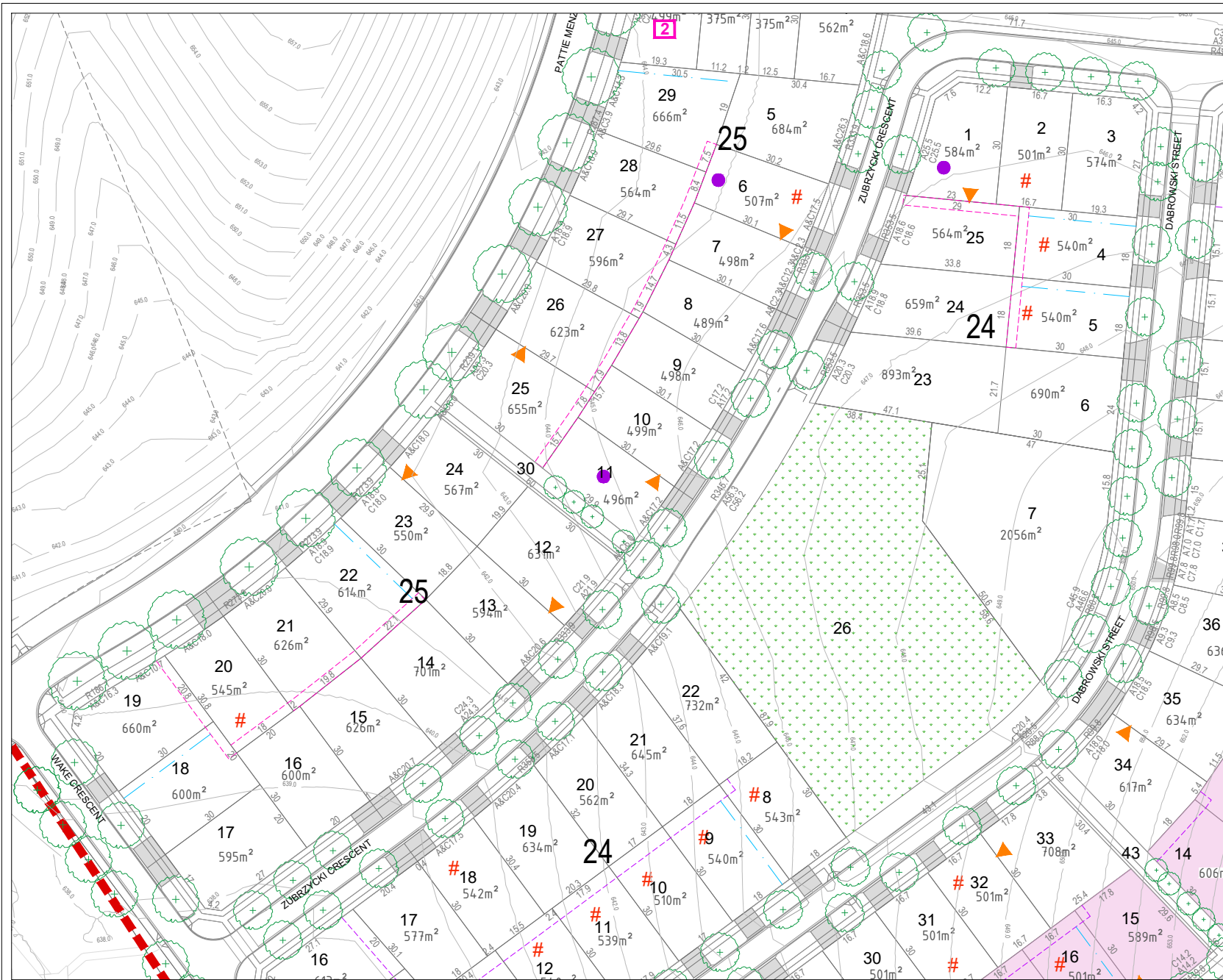
This plan is pending final approval from EPSDD.



Drawn	SG/LC	Date	26/02/2023
Checked	AT/LC	Date	26/02/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client	SUBURBAN LAND AGENCY
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Title	BLOCK DETAILS PLAN SHEET 6 of 8

Status	DETAIL DESIGN
Page No.	33.07
Datum	AHD
Scale	1:500
Size	A1
Drawing Number	
Revision	



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Sewer Access Required
- Easement Shared within Blocks
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAFZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85x1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

Mandatory Build to Boundary

- Minimum Setback 0m (metres)- Maximum Building Depth 12m
- Minimum Setback 0.9m (metres)
- Minimum Setback 1.5m (metres)
- Minimum Setback 2.0m (metres)
- Minimum Setback 3.0m (metres)
- Minimum Setback 4.0m (metres)
- Minimum Setback 6.0m (metres)

Other Setbacks

- Minimum Ground First and Second Floor Setback 4.0m (metres)
- Minimum Second Floor Setback 7.0m (metres)
- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

Mandatory Garage Location

- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

0 10 20 30 40 50m
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.



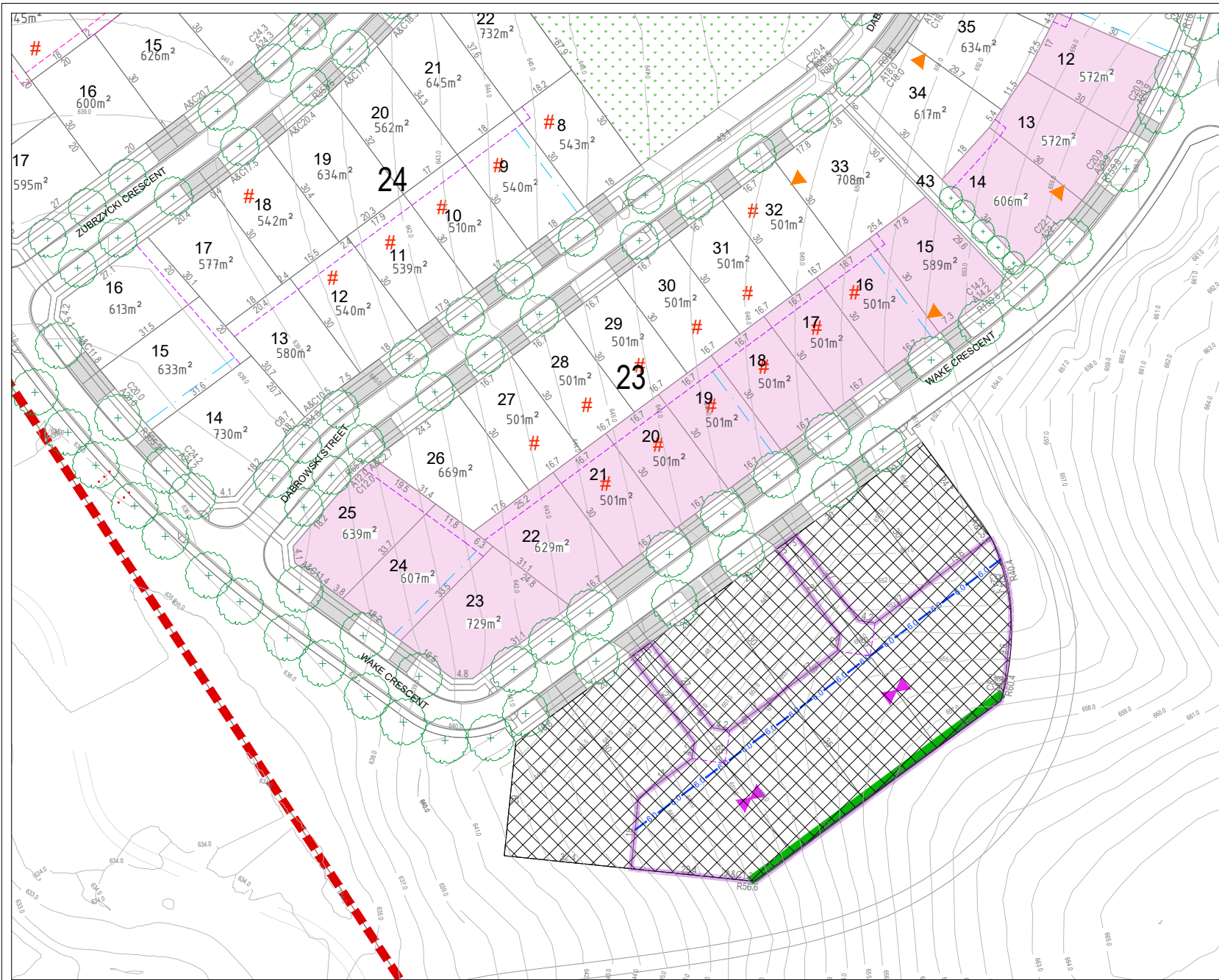
This plan is pending final approval from EPSSD.



Drawn	SG/LC	Date	26/02/2023
Checked	AT/LC	Date	26/02/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client	SUBURBAN LAND AGENCY
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Title	BLOCK DETAILS PLAN SHEET 7 of 8

Status	DETAIL DESIGN
Page No.	33.08
Datum	AHD
Scale	1:500
Size	A1
Drawing Number	
Revision	



LEGEND

GENERAL CONTROLS

- EDP Stage Boundary
- Limited Development Opportunity
- Integrated Development Parcel
- Easement Shared within Blocks
- Easement Sewer Access Required
- Easement Sewer within Blocks
- Mandatory Surveillance Block
- HAFZ - CONSTRUCTION TO BAL 12.5 AS3959-2009

PROPOSED DEVELOPMENT CONTROLS

- Mandatory Side Boundary 1
- Mandatory Side Boundary 2
- Mandatory Secondary Street Frontage
- Upper Level PPOS Permitted
- Upper Level PPOS Permitted (Minimum Dimensions 3.85x1.65m)
- Only one (1) Onsite Parking Space Required
- Mandatory 2 Storey
- Mandatory 3 Storey
- Active Frontage

BUILT FORM SETBACKS (Excluding Garages/Carports)

- Unless alternative setbacks are nominated on this plan, built form side and rear setbacks for integrated development parcels are as per the relevant table in the Territory Plan SDHDC.
- Alternative setbacks nominated apply to all floors unless otherwise specified.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.

- Mandatory Build to Boundary
- Minimum Setback 0m (metres) - Maximum Building Depth 12m
- Minimum Setback 0.9m (metres)
- Minimum Setback 1.5m (metres)
- Minimum Setback 2.0m (metres)
- Minimum Setback 3.0m (metres)
- Minimum Setback 4.0m (metres)
- Minimum Setback 6.0m (metres)
- Minimum Ground First and Second Floor Setback 4.0m (metres)
- Minimum Second Floor Setback 7.0m (metres)
- Building Separation 12.0m (metres)
- Maximum Building Depth 16m from the Front Street Boundary
- Habitable Room, Other than Bedroom Fronting Open Space
- Letterbox to Open Space
- Blocks 500m² to <550m² Subject to Midsize Block Provisions
- Maximum Length of Wall at Specified Setback

GARAGE / CARPORT / STUDIO UNIT SETBACKS

- Setbacks as per the relevant code in the Territory Plan unless alternative setbacks are nominated.
- Screening provisions for walls at nominated setbacks apply as per the relevant TP code.
- Mandatory Garage Location
- Garage Setback 1.0m (metres)
- Garage Setback 1.5m (metres)
- Contour Line 1.0m (metres)
- Indicative Tree Locations

not part of this guide - subject to future approval

Rev.	Date	Description	Des.	Verf.	Appd.



This plan is pending final approval from EPSDD.



Drawn	SG/LC	Date	26/02/2023
Checked	AT/LC	Date	26/02/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client: SUBURBAN LAND AGENCY
 Project: JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
 Title: BLOCK DETAILS PLAN SHEET 8 of 8

SCALE 1:500 @A1			
Status	DETAIL DESIGN		
Page No.	33.09	Datum	AHD
Scale	1:500	Size	A1
Drawing Number		Revision	



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Annexure D - Fencing Control Plans

Below is the Fencing Control Plans for Jacka 2

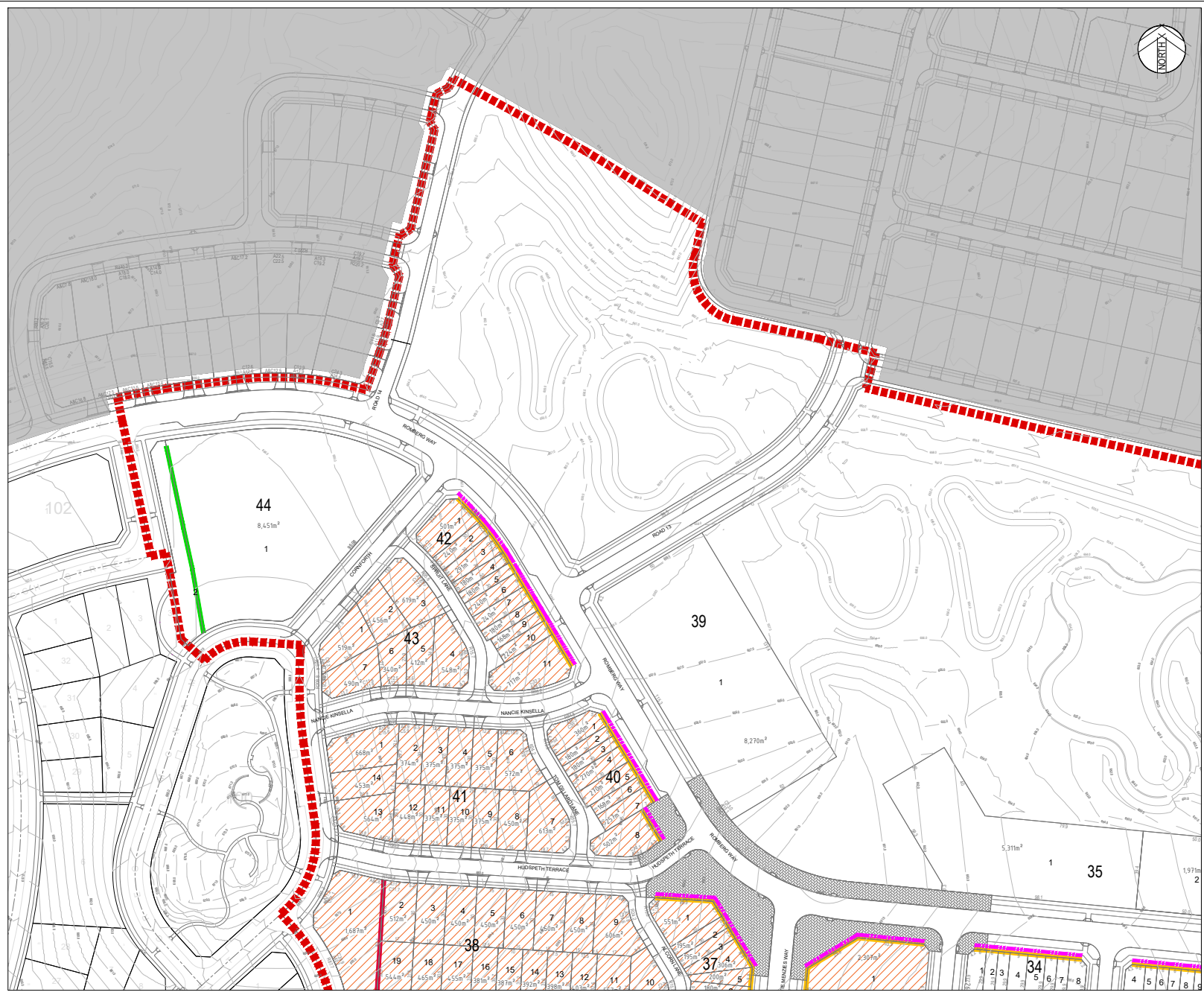
Stage 1- Sections 22,23,24,25,28,29,30,31,32,33,34,35,36,37,38,39,40,41,42,43,44.

We acknowledge the Ngunnawal people, the Traditional Custodians of the lands and waters where we live and work, and pay our respects to the elders past, present and future.


480 Northbourne Avenue, Dickson ACT 2602
GPO Box 158, Canberra ACT 2601


P 02 6205 0600 **F** 02 6207 5101
E suburbanland@act.gov.au

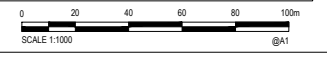
W suburbanland.act.gov.au
ABN 27 105 505 367



Location (Refer to plan)	Mandatory Fencing	Provide Access Gates	Minimum setback/Maximum height	
			For screening plants	Where located adjacent to the dwelling's PPOS
Fence to pedestrian link	Yes	Yes	100% @ 0m	1.5m 1.5m
Fence to Boundary A	Yes	No	100% @ 0m	1.5m 1.5m
Fence to Boundary B	Yes	Yes	100% @ 0.6m	1.5m 1.5m
Fence to Section B	Yes	Yes	100% @ 0m	1.8m 1.8m

 Blocks with design levels more than 1m from boundary to boundary (requires consideration towards integrated retaining wall, fencing and slab design)

 All fences to be offset to have 1m clearance around meter



Rev.	Date	Description	Des.	Verf.	Appd.



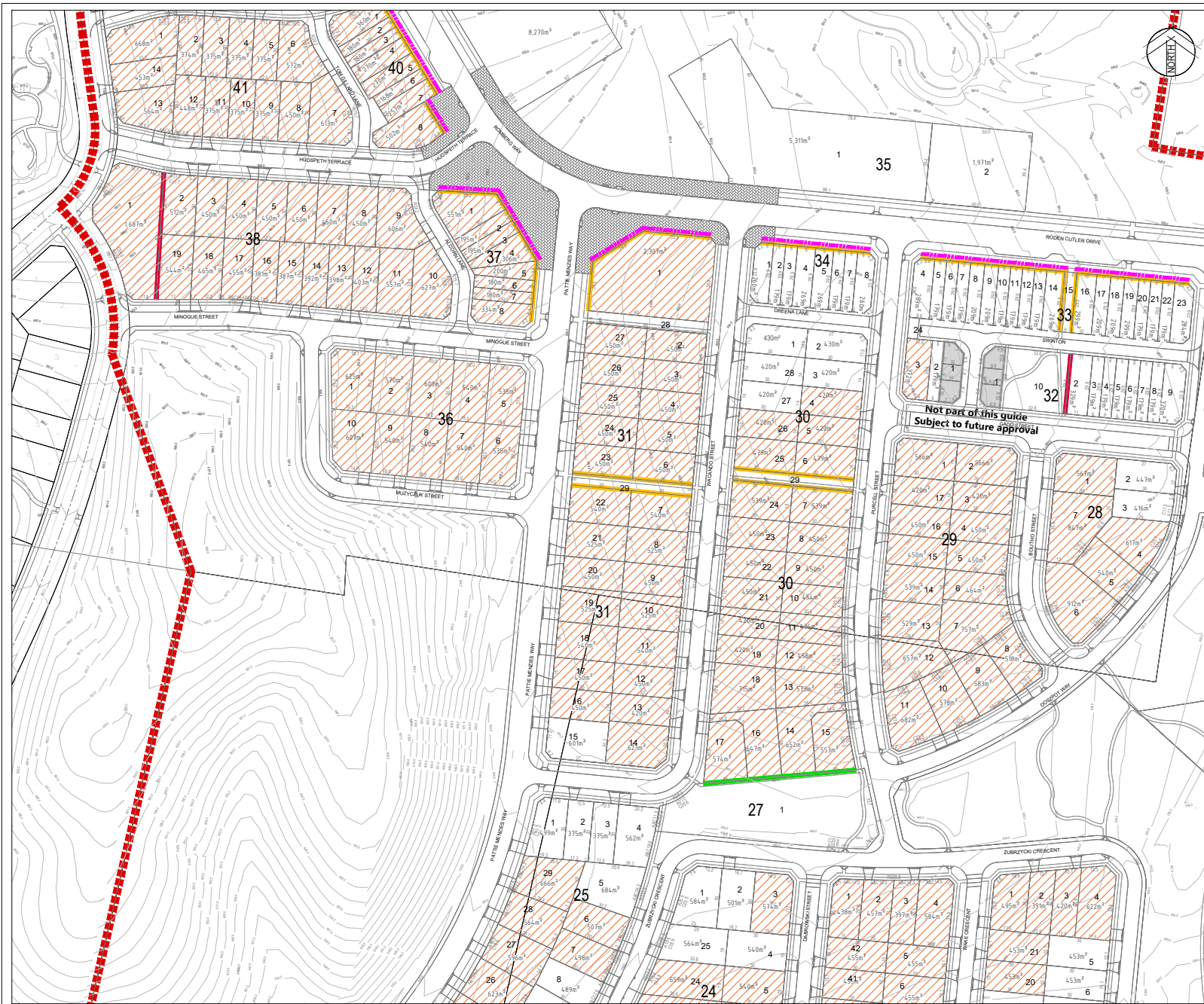
This plan is pending final approval from EPSDD.



Drawn	SG/LC	Date	26/02/2023
Checked	AT/LC	Date	26/02/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		Date	26/02/2023

Client	SUBURBAN LAND AGENCY		
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN		
Title	BLOCK DETAILS PLAN SHEET 1 of 3		

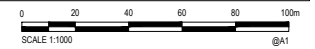
Status	Fencing Control Plans						
Page No.	33.02	Datum	AHD	Scale	1:500	Size	A1
Drawing Number							Revision



Location (Refer to plan)	Mandatory Fencing	Provide Access Gates	Minimum setback For screening plants @ 0m	Maximum height Where located adjacent to the dwelling's PPOS
Fence to pedestrian link	Yes	Yes	100% @ 0m	1.5m 1.5m
Fence to Boundary A	Yes	No	100% @ 0m	1.5m 1.5m
Fence to Boundary B	Yes	Yes	100% @ 0.6m	1.5m 1.5m
Fence to Section B	Yes	Yes	100% @ 0m	1.8m 1.8m

Blocks with design levels more than 1m from boundary to boundary (requires consideration towards integrated retaining wall, fencing and slab design)

All fences to be offset to have 1m clearance around meter



Rev.	Date	Description	Des.	Verf.	Appd.

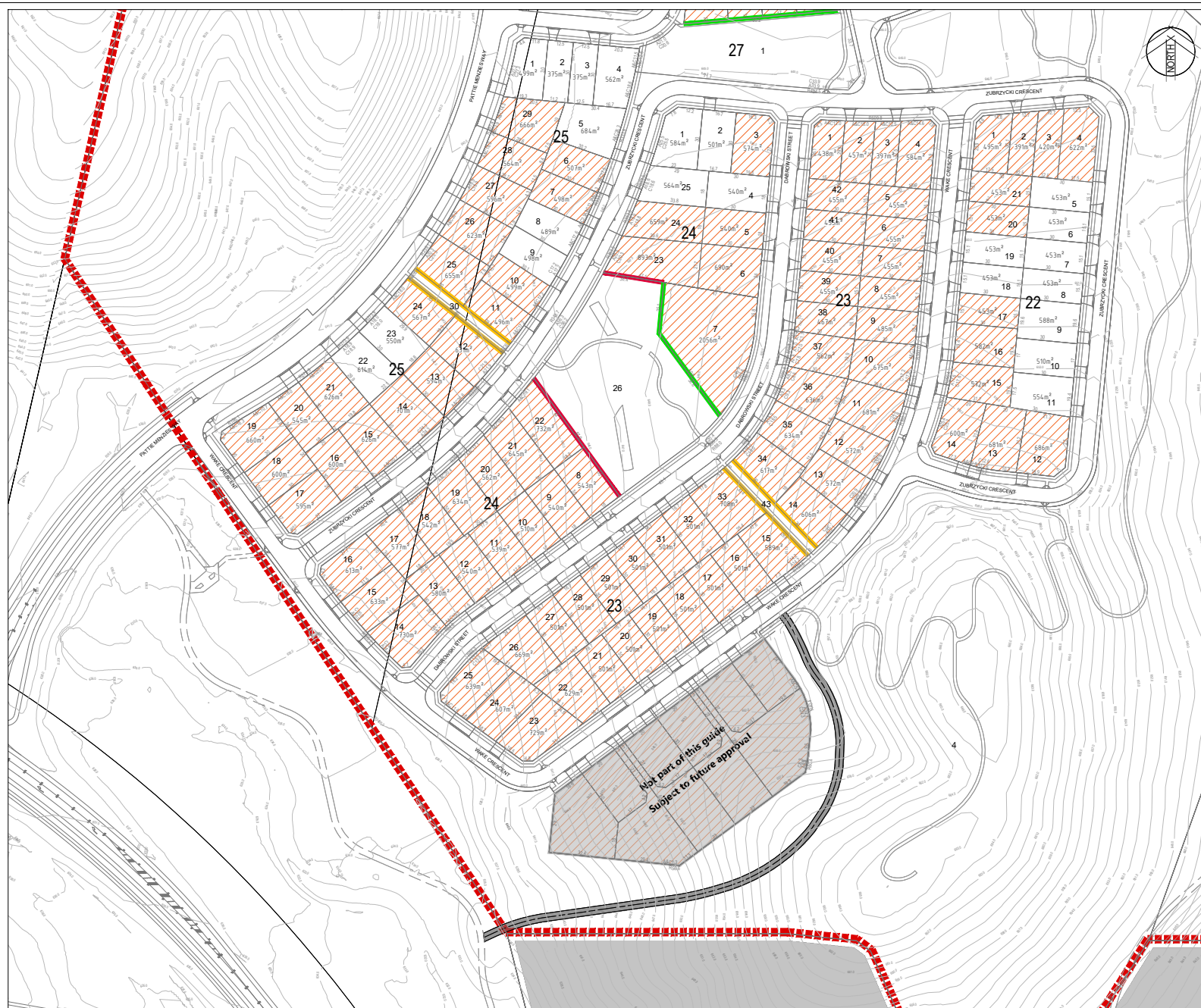


This plan is pending final approval from EPSDD.



Drawn	Date	Client
SG/LC	26/02/2023	SUBURBAN LAND AGENCY
Checked	Date	Project
AT/LC	26/02/2023	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Designed	Date	Project
		STAGE 1 ESTATE DEVELOPMENT PLAN
Verified	Date	Title
		BLOCK DETAILS PLAN
Approved	Date	SHEET 2 of 3
AT/LC	26/02/2023	

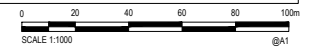
Status	Fencing Control Plans		
Page No.	Datum	Scale	Size
33.02	AHD	1:500	A1
Drawing Number			Revision



Location (Refer to plan)	Mandatory Fencing	Provide Access Gates	Minimum setback For screening plants	Maximum height Where located adjacent to the dwelling's PPOS
Fence to pedestrian link	Yes	Yes	100% @ 0m	1.5m 1.5m
Fence to Boundary A	Yes	No	100% @ 0m	1.5m 1.5m
Fence to Boundary B	Yes	Yes	100% @ 0.6m	1.5m 1.5m
Fence to Section B	Yes	Yes	100% @ 0m	1.8m 1.8m

Blocks with design levels more than 1m from boundary to boundary (requires consideration towards integrated retaining wall, fencing and slab design)

All fences to be offset to have 1m clearance around meter



Rev.	Date	Description	Des.	Verf.	Appd.



This plan is pending final approval from EPSDD.



Drawn	SG/LC	Date	26/02/2023
Checked	AT/LC	Date	26/02/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		26/02/2023	

Client: SUBURBAN LAND AGENCY
 Project: JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
 STAGE 1 ESTATE DEVELOPMENT PLAN
 Title: BLOCK DETAILS PLAN
 SHEET 3 of 3

Status: Fencing Control Plans			
Page No.	Datum	Scale	Size
33.02	AHD	1:500	A1
Drawing Number			Revision



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Annexure E - Integrated Development Plans

Below is the Integrated Development Plans for Jacka 2

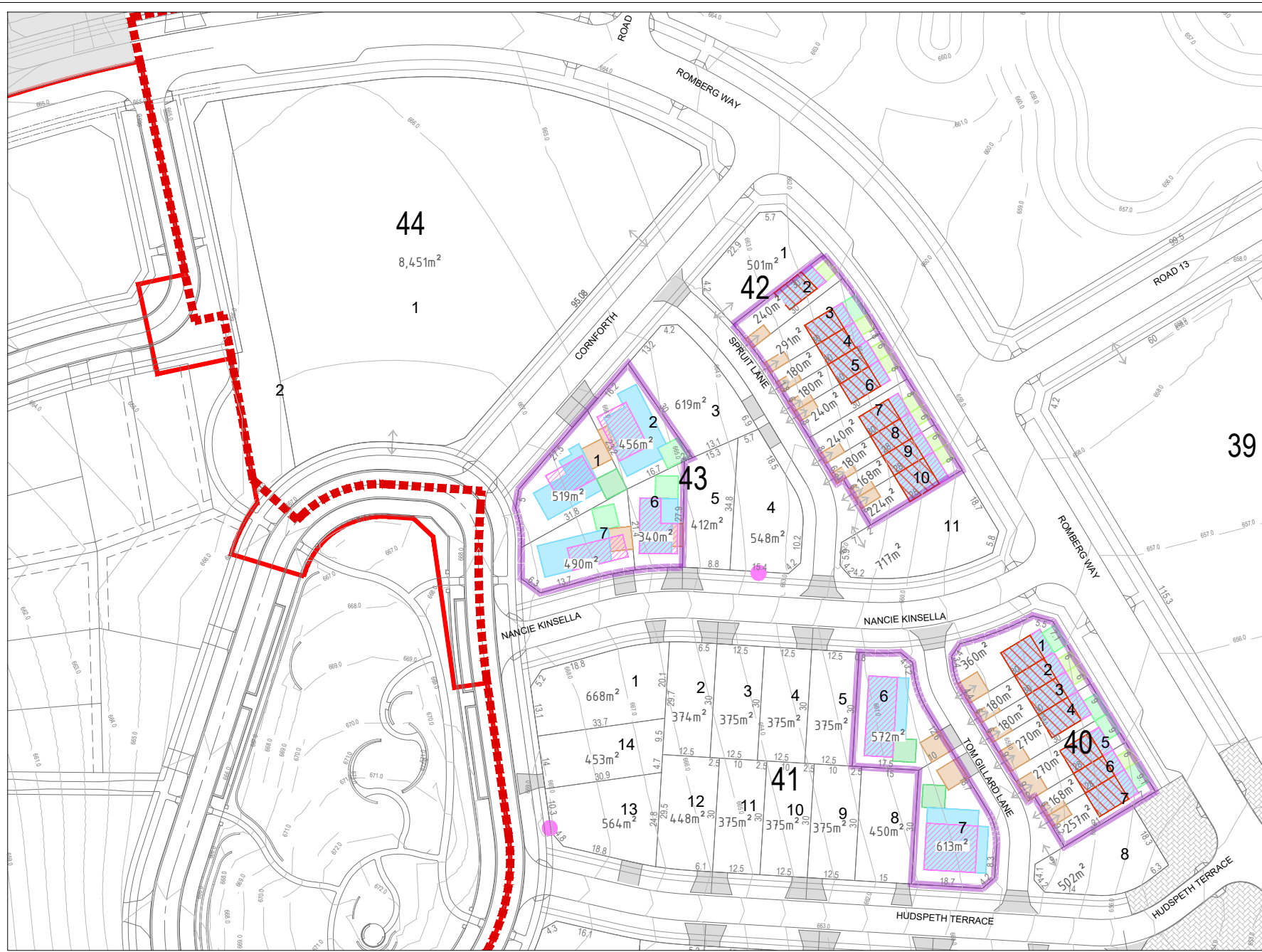
Stage 1-Sections 22,23,24,25,28,29,30,31,32,33,34,35,36,37,38,39,40,41,42,43,44.

We acknowledge the Ngunnawal people, the Traditional Custodians of the lands and waters where we live and work, and pay our respects to the elders past, present and future.

480 Northbourne Avenue, Dickson ACT 2602
GPO Box 158, Canberra ACT 2601

P 02 6205 0600 **F** 02 6207 5101
E suburbanland@act.gov.au

W suburbanland.act.gov.au
ABN 27 105 505 367



LEGEND

- EDP Stage Boundary
- INTEGRATED DEVELOPMENT PARCELS (Refer to Detail Design Plans)
- Existing Individual Trees to be retained
- Lower Floor Level Indicative Footprint
- Upper Floor Level Indicative Footprint (1st)
- Upper Floor Level Indicative Footprint (2nd)
- Indicative Principle Private Open Space Location (compact blocks)
- Indicative Principle Private Open Space Location (mid-sized blocks)
- Indicative Principle Private Open Space Location (large blocks)
- Indicative Principle Private Open Space Location (upper level)
- Indicative Garage/Carport Location
- Driveway Locations
- Indicative Laneway/ MU site Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable

Rev.	Date	Description	Des.	Verf.	Appd.
E	14/03/2023	Revision for 1165 approval	LC	LC	
D	29/06/2021	Stage 1 Estate Development Plan RFI	SG	AT	
C	19/08/2019	Stage 1 Estate Development Plan	HV	AT	
B	01/03/2019	Agency Circulation	HV	LC	
A	23/10/2018	Agency Circulation	HV	LC	



Drawn	Checked	Designed	Verified	Approved
SG/LC	AT/LC			

Date	Client	Project	Title
14/03/2023	SUBURBAN LAND AGENCY	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN	BUILDING ENVELOPE / INTEGRATED DEVELOPMENT PLAN SHEET 1 of 5

Status	Page No.	Datum	Scale	Size	Revision
FOR APPROVAL	37	AHD	1:500	A1	E



LEGEND

- EDP Stage Boundary
- INTEGRATED DEVELOPMENT PARCELS (Refer to Detail Design Plans)
- Existing Individual Trees to be retained
- Lower Floor Level Indicative Footprint
- Upper Floor Level Indicative Footprint (1st)
- Upper Floor Level Indicative Footprint (2nd)
- Indicative Principle Private Open Space Location (compact blocks)
- Indicative Principle Private Open Space Location (mid-sized blocks)
- Indicative Principle Private Open Space Location (large blocks)
- Indicative Principle Private Open Space Location (upper level)
- Indicative Garage/Carport Location
- Driveway Locations
- Indicative Laneway/ MU site Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable

0 10 20 30 40 50m
SCALE 1:500 @A1

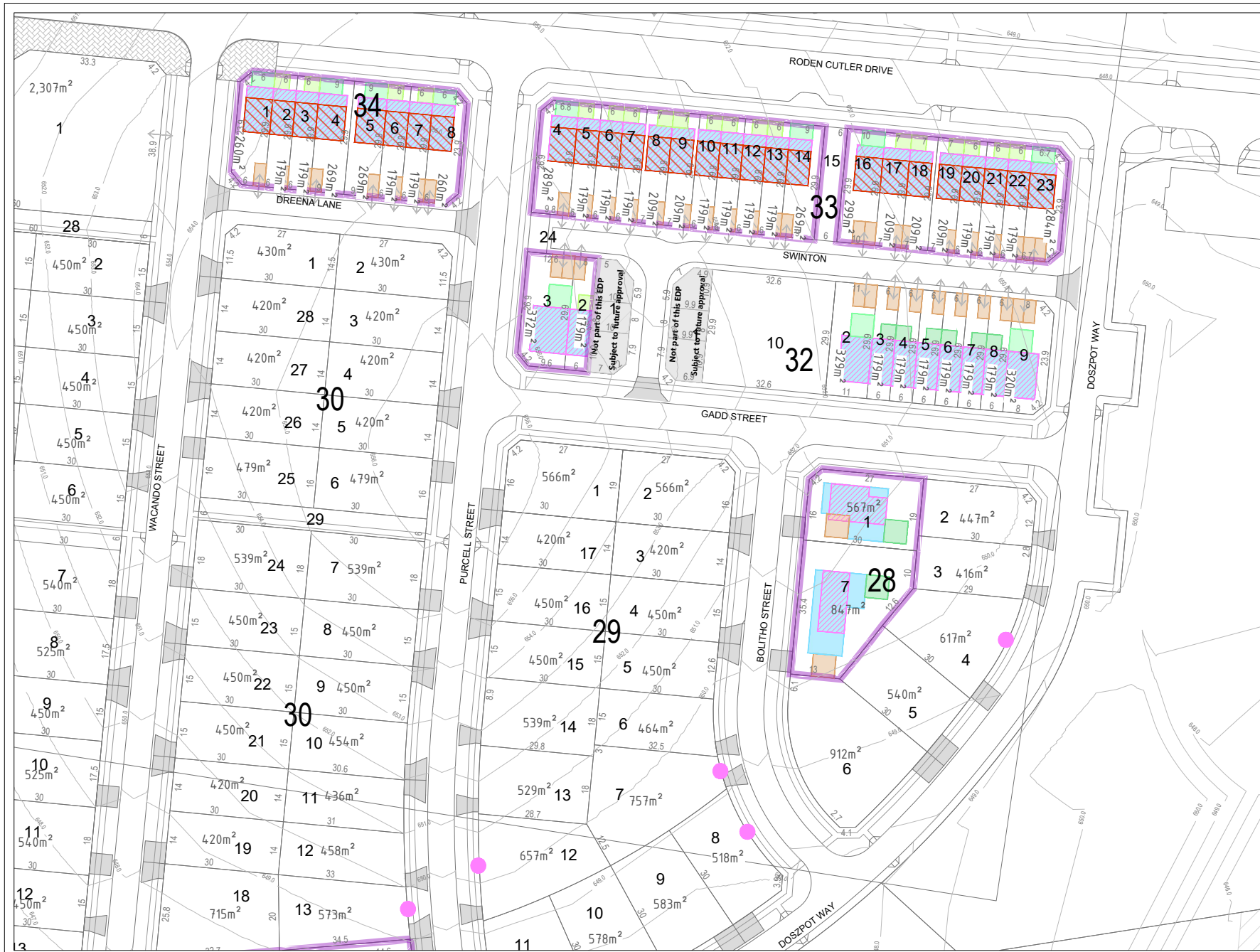
Rev.	Date	Description	Des.	Verf.	Appd.
E	14/03/2023	Revision for s155 approval	LC	LC	
D	29/06/2021	Stage 1 Estate Development Plan RFI	SG	AT	
C	19/08/2019	Stage 1 Estate Development Plan	HV	AT	
B	01/03/2019	Agency Circulation	HV	LC	
A	23/10/2018	Agency Circulation	HV	LC	




Drawn	Checked	Designed	Verified	Approved
SG/LC	AT/LC	AT/LC		

Date	Client
14/03/2023	SUBURBAN LAND AGENCY
Date	Project
14/03/2023	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Date	Title
	BUILDING ENVELOPE / INTEGRATED DEVELOPMENT PLAN SHEET 2 of 5

Status	Page No.	Datum	Scale	Size
FOR APPROVAL	38	AHD	1:500	A1
Drawing Number	Revision			
	E			






LEGEND

- EDP Stage Boundary
- INTEGRATED DEVELOPMENT PARCELS (Refer to Detail Design Plans)
- Existing Individual Trees to be retained
- Lower Floor Level Indicative Footprint
- Upper Floor Level Indicative Footprint (1st)
- Upper Floor Level Indicative Footprint (2nd)
- Indicative Principle Private Open Space Location (compact blocks)
- Indicative Principle Private Open Space Location (mid-sized blocks)
- Indicative Principle Private Open Space Location (large blocks)
- Indicative Principle Private Open Space Location (upper level)
- Indicative Garage/Carport Location
- Driveway Locations
- Indicative Laneway/ MU site Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable



SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.
E	14/03/2023	Revision for 165 approval	LC	LC	
D	29/06/2021	Stage 1 Estate Development Plan RFI	SG	AT	
C	19/08/2019	Stage 1 Estate Development Plan	HV	AT	
B	01/03/2019	Agency Circulation	HV	LC	
A	23/10/2018	Agency Circulation	HV	LC	




Drawn	SG/LC	Date	14/03/2023
Checked	AT/LC	Date	14/03/2023
Designed		Date	
Verified		Date	
Approved		Date	
AT/LC		14/03/2023	

Client	SUBURBAN LAND AGENCY
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Title	BUILDING ENVELOPE / INTEGRATED DEVELOPMENT PLAN SHEET 3 of 5

Status	NOT TO BE USED FOR CONSTRUCTION PURPOSES						
	FOR APPROVAL						
Page No.	39	Datum	AHD	Scale	1:500	Size	A1
Drawing Number		Revision				E	






LEGEND

- EDP Stage Boundary
- ▭ INTEGRATED DEVELOPMENT PARCELS (Refer to Detail Design Plans)
- Existing Individual Trees to be retained
- ▭ Lower Floor Level Indicative Footprint
- ▭ Upper Floor Level Indicative Footprint (1st)
- ▭ Upper Floor Level Indicative Footprint (2nd)
- ▭ Indicative Principle Private Open Space Location (compact blocks)
- ▭ Indicative Principle Private Open Space Location (mid-sized blocks)
- ▭ Indicative Principle Private Open Space Location (large blocks)
- ▭ Indicative Principle Private Open Space Location (upper level)
- ▭ Indicative Garage/Carport Location
- ▭ Driveway Locations
- ↔ Indicative Laneway/ MU site Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable



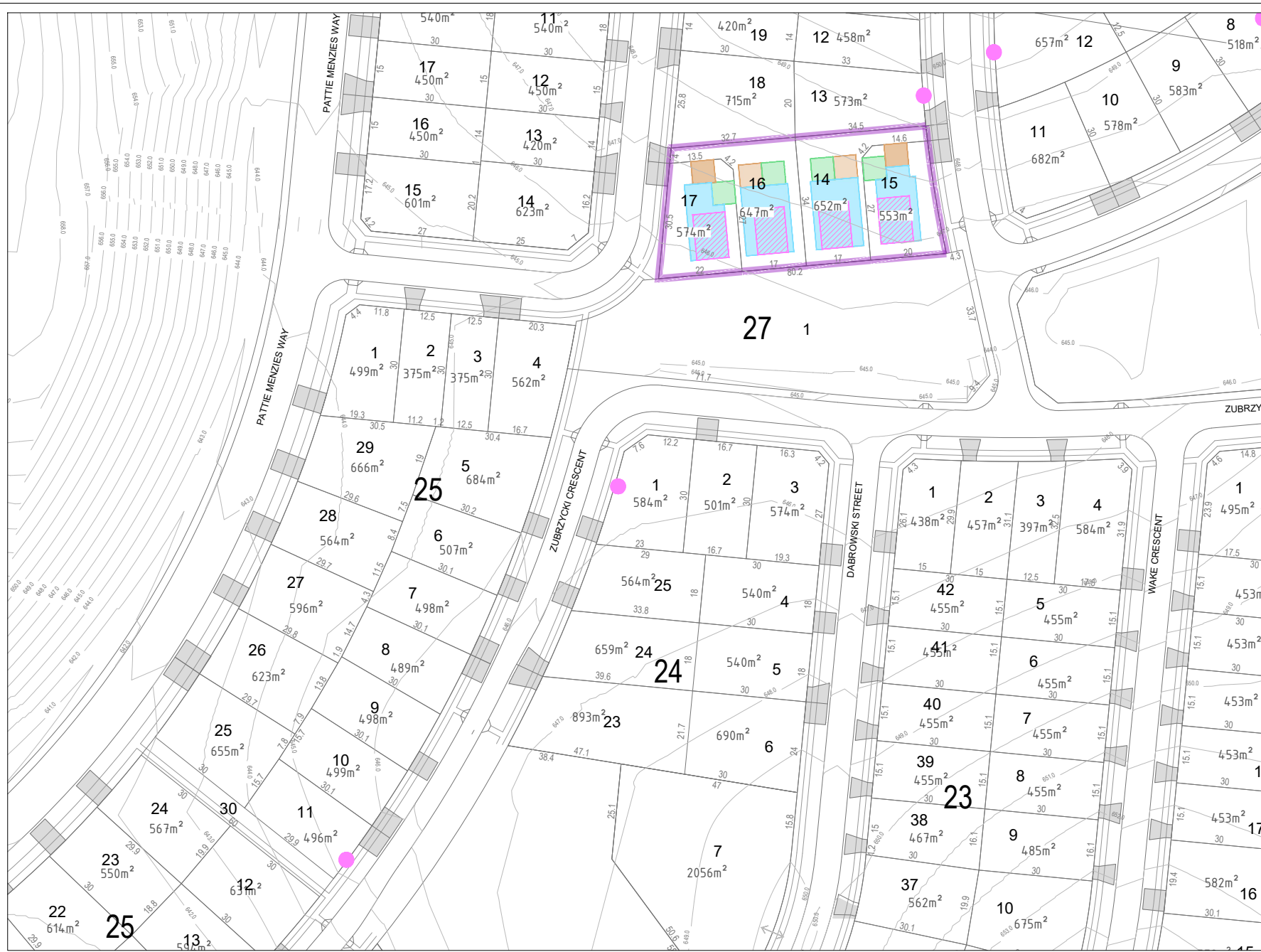
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Rev.	Date	Description	Des.	Verf.	Appd.
E	14/03/2023	Revision for s165 approval	LC	LC	
D	29/06/2021	Stage 1 Estate Development Plan RFI	SG	AT	
C	19/08/2019	Stage 1 Estate Development Plan	HV	AT	
B	01/03/2019	Agency Circulation	HV	LC	
A	23/10/2018	Agency Circulation	HV	LC	



Drawn	Date	Client
SG/LC	14/03/2023	SUBURBAN LAND AGENCY
Checked	Date	Project
AT/LC	14/03/2023	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Designed	Date	Project
		STAGE 1 ESTATE DEVELOPMENT PLAN
Verified	Date	Title
		BUILDING ENVELOPE / INTEGRATED DEVELOPMENT PLAN
Approved	Date	Sheet
		SHEET 4 of 5
AT/LC	14/03/2023	

Status	Page No.	Datum	Scale	Size
FOR APPROVAL	40	AHD	1:500	A1
Drawing Number	Revision			
	E			



LEGEND

- EDP Stage Boundary
- ▭ INTEGRATED DEVELOPMENT PARCELS (Refer to Detail Design Plans)
- Existing Individual Trees to be retained
- ▭ Lower Floor Level Indicative Footprint
- ▭ Upper Floor Level Indicative Footprint (1st)
- ▭ Upper Floor Level Indicative Footprint (2nd)
- ▭ Indicative Principle Private Open Space Location (compact blocks)
- ▭ Indicative Principle Private Open Space Location (mid-sized blocks)
- ▭ Indicative Principle Private Open Space Location (large blocks)
- ▭ Indicative Principle Private Open Space Location (upper level)
- ▭ Indicative Garage/Carport Location
- ▭ Driveway Locations
- ↔ Indicative LaneWAY/ MU site Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable

0 10 20 30 40 50m
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verf.	Appd.
E	14/03/2023	Revision for a 165 approval	LC	LC	
D	29/06/2021	Stage 1 Estate Development Plan RFI	SG	AT	
C	19/08/2019	Stage 1 Estate Development Plan	HV	AT	
B	01/03/2019	Agency Circulation	HV	LC	
A	23/10/2018	Agency Circulation	HV	LC	



Drawn	Date	Client
SG/LC	14/03/2023	SUBURBAN LAND AGENCY
Checked	Date	Project
AT/LC	14/03/2023	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT STAGE 1 ESTATE DEVELOPMENT PLAN
Designed	Date	Title
		BUILDING ENVELOPE / INTEGRATED DEVELOPMENT PLAN SHEET 5 of 5
Verified	Date	Approved
AT/LC	Date	Revision
	14/03/2023	E

Status	Page No.	Datum	Scale	Size
FOR APPROVAL	41	AHD	1:500	A1
Drawing Number	Revision			
	E			



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Annexure F - Block Fill Plans

Below is the Integrated Development Plans for Jacka 2
Stage 1-Sections 24,25,28,29,30,32,33,34,36,37,38,40,41,42,43.

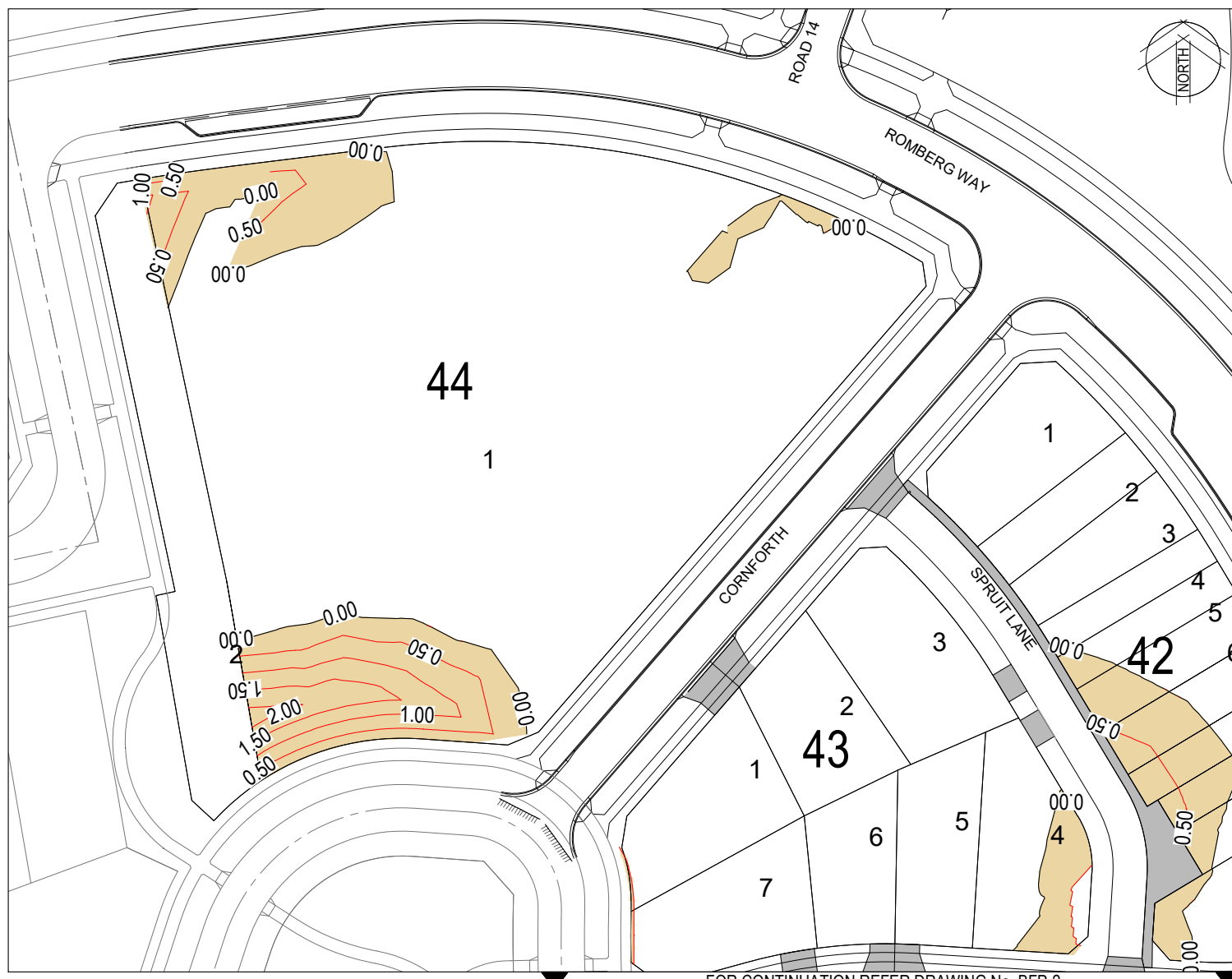
We acknowledge the Ngunnawal people, the Traditional Custodians of the lands and waters where we live and work, and pay our respects to the elders past, present and future.

480 Northbourne Avenue, Dickson ACT 2602
GPO Box 158, Canberra ACT 2601

P 02 6205 0600 **F** 02 6207 5101
E suburbanland@act.gov.au

W suburbanland.act.gov.au
ABN 27 105 505 367

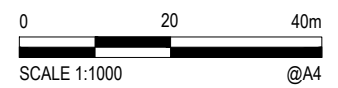
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 CAD File: L:\Projects\SLA - Jacka 2\WORKING\GRD06 Report\Housing DCs 2022\HDG 2023\Block Fill Plans Standard\BLOCK FILL.dwg
 DATE PLOTTED: 11 December 2023 10:47 AM BY: CHEN, CHARLIE



LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

NOTE:
 THIS PLAN ONLY INDICATES AREAS OF FILL OF WHICH THE DEVELOPER AND ITS AGENTS ARE AWARE. IT HAS NOT BEEN CHECKED BY THE TERRITORY AND THE TERRITORY DOES NOT GUARANTEE ITS ACCURACY. IN NO WAY SHOULD THIS PLAN BE READ AS A CONCLUSIVE STATEMENT OF THE FULL EXTENT OF THE FILL THAT MAY BE FOUND ON THE LAND DEPICTED. LESSEES AND PURCHASERS SHOULD MAKE THEIR OWN ENQUIRIES IN REGARD TO THE EXACT DRAINAGE, GEOTECHNICAL AND FILL CONDITIONS AFFECTING THEIR BLOCKS.



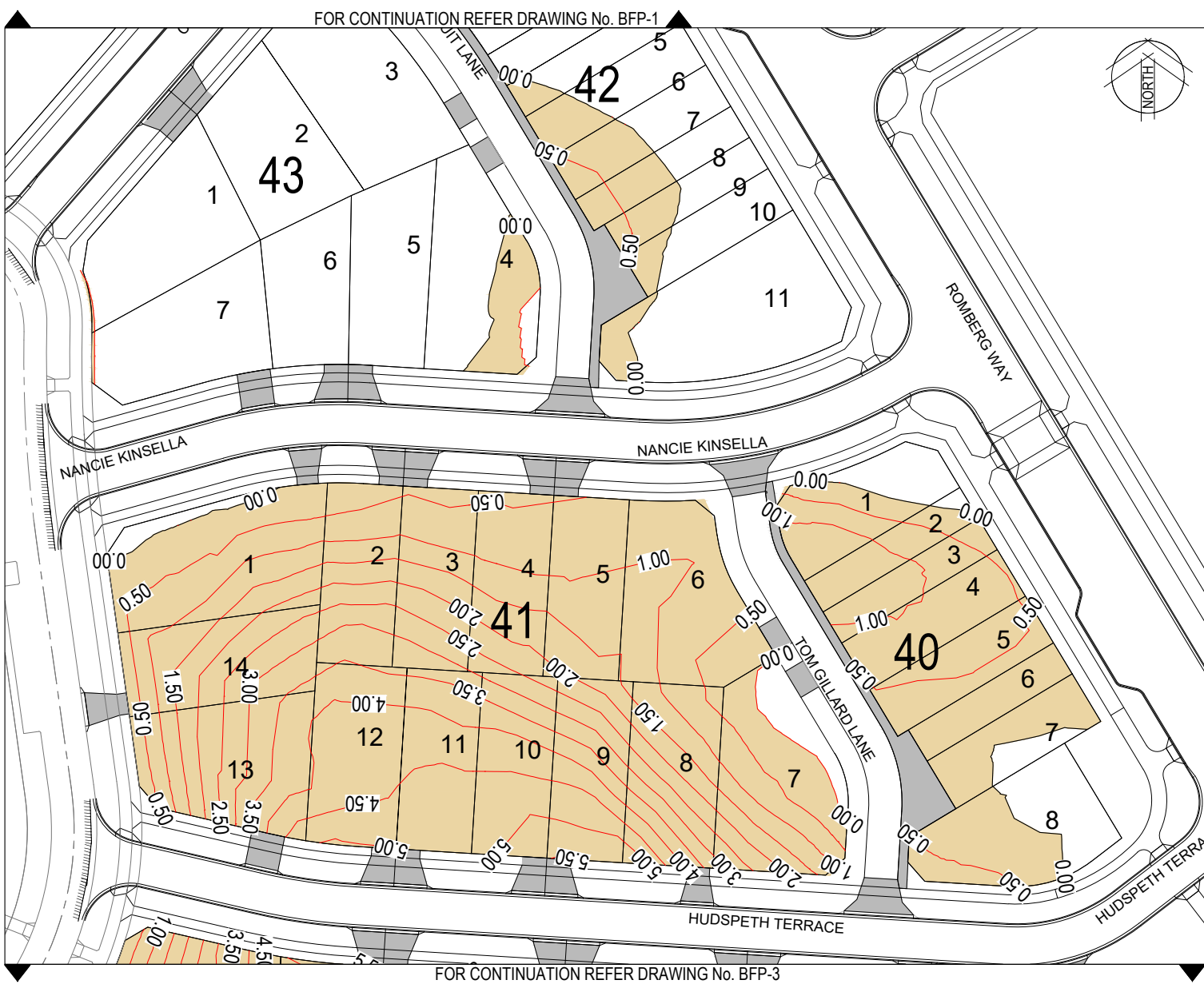
FOR CONTINUATION REFER DRAWING No. BFP-2

Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ



Stantec Australia Pty Ltd | ABN 17 007 820 322
 Eastern Core, Level 4, 2 Constitution Ave
 Canberra, ACT 2601
 Tel: 02 6112 4500
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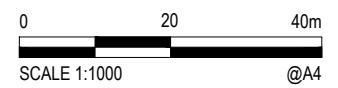
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Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT			
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 1 OF 15			
Ver	JS	24/01/2023	Date	Status	FOR APPROVAL			
App	GZ	24/01/2023	Date	NOT TO BE USED FOR CONSTRUCTION PURPOSES				
				Date	Datum	Scale	Size	
				January 2023	AHD	1:1000	A4	
				Drawing Number				Revn
				BFP-01				A



LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

NOTE:
 THIS PLAN ONLY INDICATES AREAS OF FILL OF WHICH THE DEVELOPER AND ITS AGENTS ARE AWARE. IT HAS NOT BEEN CHECKED BY THE TERRITORY AND THE TERRITORY DOES NOT GUARANTEE ITS ACCURACY. IN NO WAY SHOULD THIS PLAN BE READ AS A CONCLUSIVE STATEMENT OF THE FULL EXTENT OF THE FILL THAT MAY BE FOUND ON THE LAND DEPICTED. LESSEES AND PURCHASERS SHOULD MAKE THEIR OWN ENQUIRIES IN REGARD TO THE EXACT DRAINAGE, GEOTECHNICAL AND FILL CONDITIONS AFFECTING THEIR BLOCKS.



FOR CONTINUATION REFER DRAWING No. BFP-3



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Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
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Ver	JS	24/01/2023	Date		
App	GZ		24/01/2023		

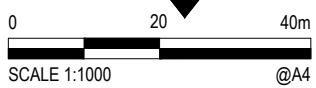
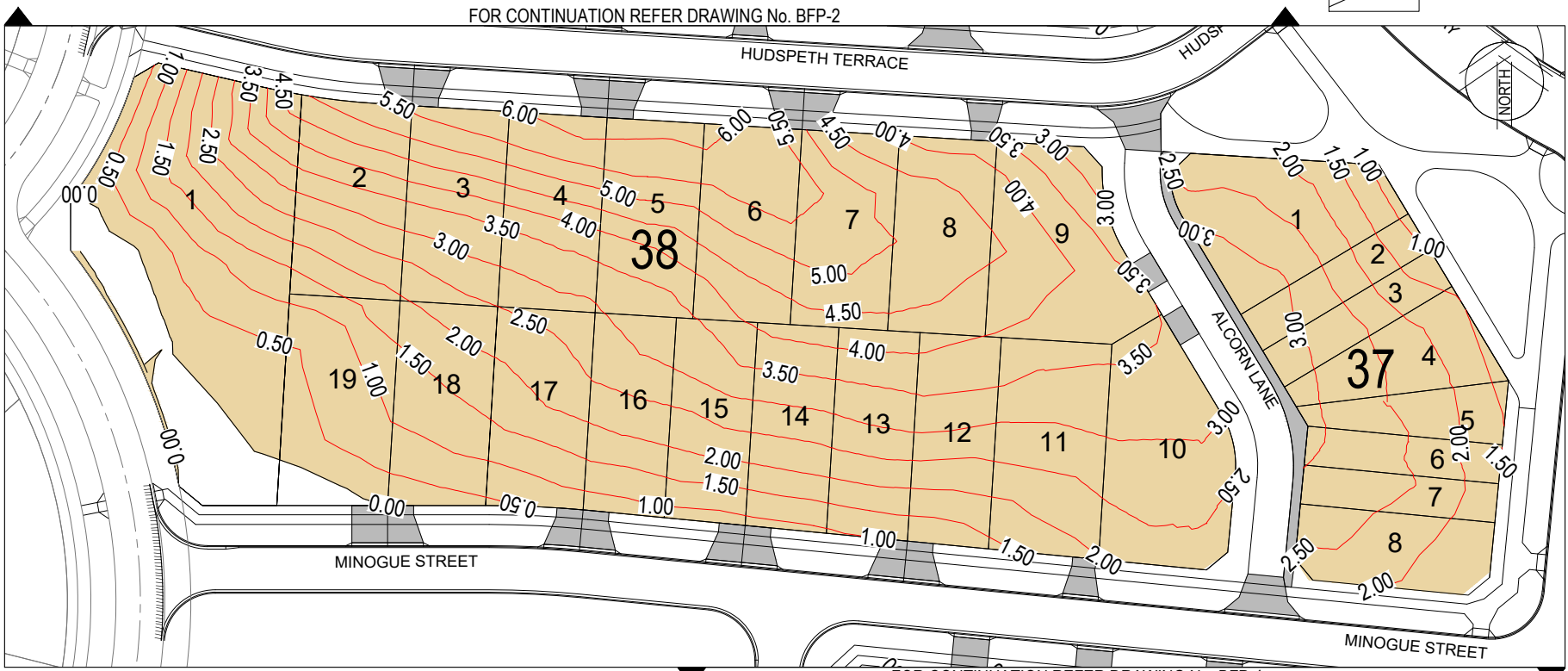
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NOT TO BE USED FOR CONSTRUCTION PURPOSES				
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Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ

XREFs: EX: Title Block Logo; EK: Taylor; X: GUNGAHLIN; EX: TO; X: OS PATHS; X: CAD Base - 1A; AT: GRP TITLE BLOCK; X: CAD Base; STG_1C; X: CAD Base; STG_1C; 1A SECTION & BLOCK
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 DATE PLOTTED: 11 December 2023 10:47 AM BY: CHEN, CHARLIE

LEGEND	
1	BLOCK IDENTIFIER
11	SECTION IDENTIFIER
	ESTIMATED FILL DEPTH (m)
	FILL
	LIMIT OF FILL

NOTE:
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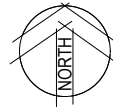
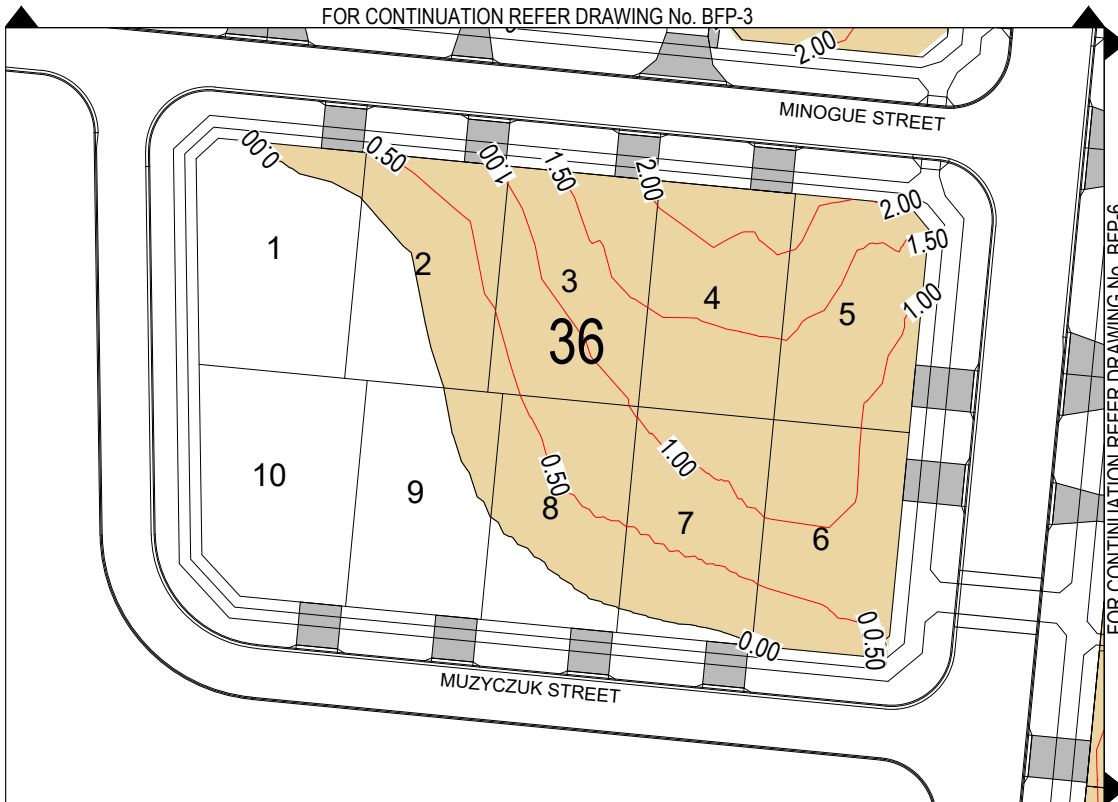


Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ

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Dwn	MO	24/01/2023	Date	Client	SUBURBAN LAND AGENCY
Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Des	ML	24/01/2023	Date		
Ver	JS	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 3 OF 15
App					
GZ		24/01/2023			

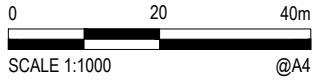
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NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Date	Datum	Scale	Size
January 2023	AHD	1:1000	A4
Drawing Number	BFP-03		Revn
			A



LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

NOTE:
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Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ

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Dwn	MO	24/01/2023	Date
Chk	AS	24/01/2023	Date
Des	ML	24/01/2023	Date
Ver	JS	24/01/2023	Date
App			
GZ		24/01/2023	

Client	SUBURBAN LAND AGENCY
Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Title	BLOCK FILL PLANS SHEET 4 OF 15

Status	FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
Date	Datum	Scale	Size	
January 2023	AHD	1:1000	A4	
Drawing Number	BFP-04			Revn
				A

XREFs: EX-Title Block Logo: EX-Taylor; X-GUNGAHLIN: EX-100; X-OS PATHS; X-CAD Base - 1A; AT GRP TITLE BLOCK; X-CAD Base; STG_1C; X-CAD Base; STG_1B; X-CAD Base; STG_1C; X-CAD Base; STG_1D; X-SPONDS; X-Stage Boundary; STG_1A; CHAINAGE DriveWAY 500; X-Stage Boundary; STG_1C; 1A SECTION & BLOCK
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 DATE PLOTTED: 11 December 2023 10:46 AM BY: CHEN, CHARLIE

FOR CONTINUATION REFER DRAWING No. BFP-7



LEGEND

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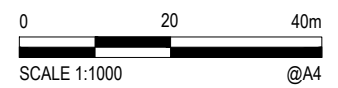
11 SECTION IDENTIFIER

1.0
0.5 ESTIMATED FILL DEPTH (m)

FILL

0.0 LIMIT OF FILL

NOTE:
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FOR CONTINUATION REFER DRAWING No. BFP-6

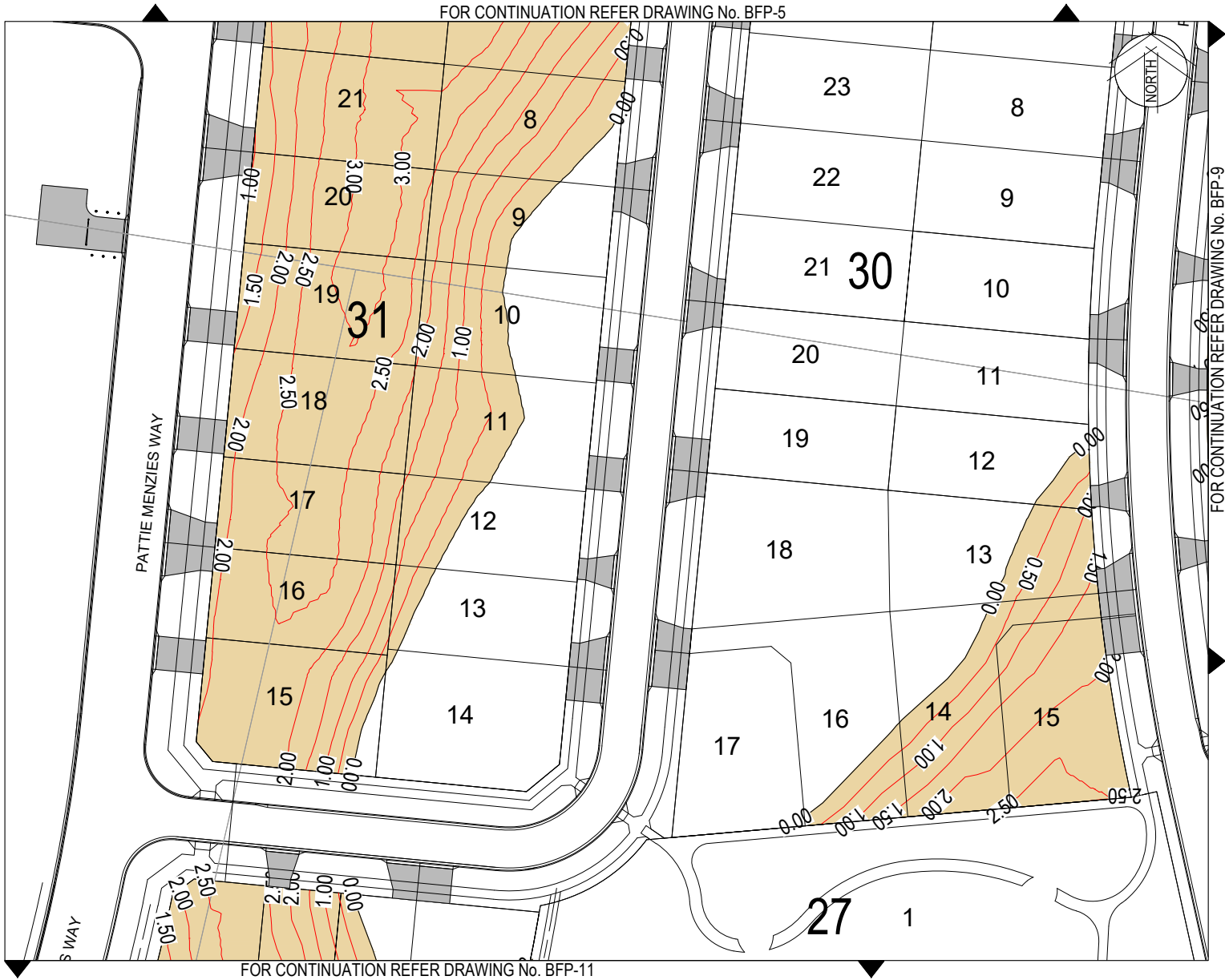


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Dwn	MO	24/01/2023	Date	Client	SUBURBAN LAND AGENCY						
Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT						
Des	ML	24/01/2023	Date	Status	FOR APPROVAL						
Ver	JS	24/01/2023	Date	NOT TO BE USED FOR CONSTRUCTION PURPOSES							
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				Drawing Number	BFP-05						
				Rev	A						

Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ

XREFs: EX-Title Block Logo: EX-Taylor; X-GUNGAH.LIN: EX-TOD; X-OS PATHS: X-CAD Base - 1A; AT GRP TITLE BLOCK: X-CAD Base; STG_1C; X-CAD Base; STG_1B; X-CAD Base; STG_1D; X-PONDS; X-Stage Boundary; STG_1A; CHAINAGE DriveWAY 500; X-Stage Boundary; STG_1C; 1A SECTION & BLOCK
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 DATE PLOTTED: 11 December 2023 10:46 AM BY: CHEN, CHARLIE



LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

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Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ

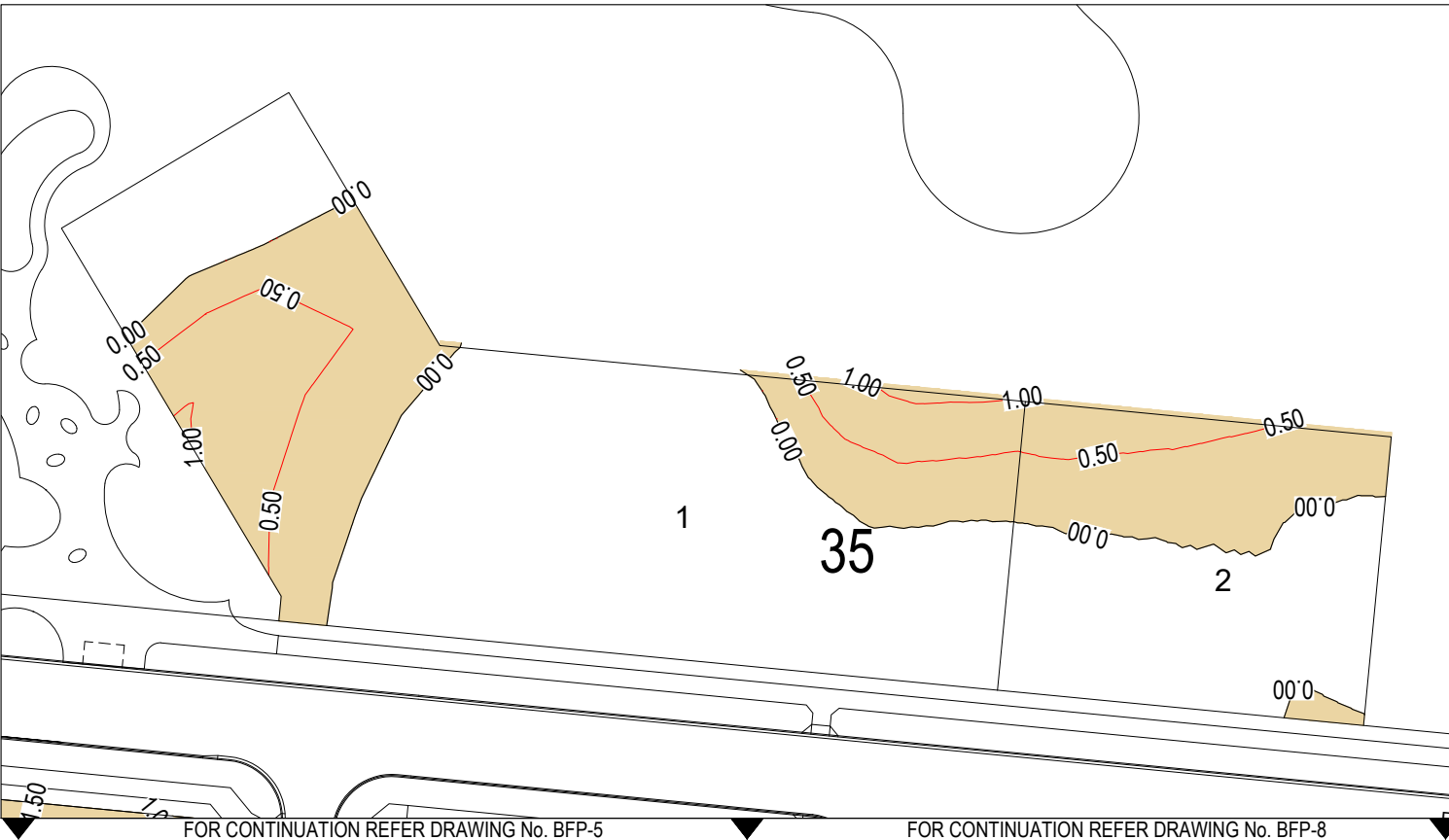


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Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 6 OF 15
Ver	JS	24/01/2023	Date		
App					
GZ		24/01/2023			

Status	FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
Date	Datum	Scale	Size	
January 2023	AHD	1:1000	A4	
Drawing Number				Revn
BFP-06				A

XREFs: EX-Title Block Logo; EK-Taylor; X-GUNGAHLIN; EX-TCD; X-OS PATHS; X-CAD Base - 1A; AT GRP TITLE BLOCK; X-CAD Base; STG_1C; X-CAD Base; STG_1C; 1A SECTION & BLOCK; CAD File: L:\Projects\SLA_JAC - Jacka ZW\WORKING\GRD06 Report\Housing DCs 2022\HDG 2023\Block Fill Plans Standard\BLOCK FILL.dwg
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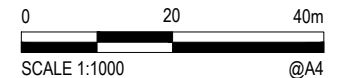
- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

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FOR CONTINUATION REFER DRAWING No. BFP-5

FOR CONTINUATION REFER DRAWING No. BFP-8



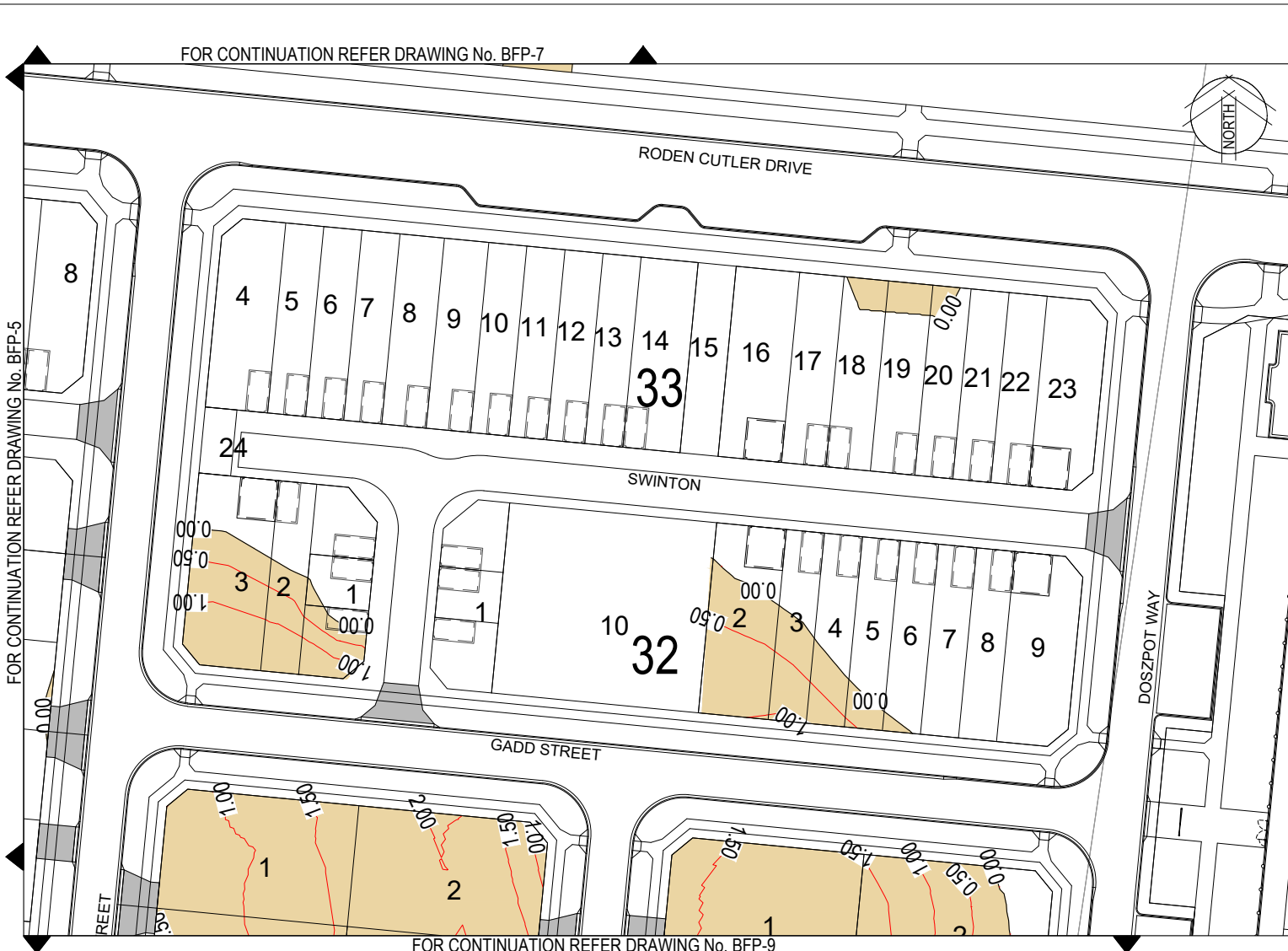
Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ



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Dwn	MO	24/01/2023	Date	Client	SUBURBAN LAND AGENCY						
Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT						
Des	ML	24/01/2023	Date	Status	FOR APPROVAL						
Ver	JS	24/01/2023	Date	NOT TO BE USED FOR CONSTRUCTION PURPOSES							
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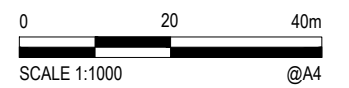
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 DATE PLOTTED: 11 December 2023 10:46 AM BY: CHEN, CHARLIE



LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

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FOR CONTINUATION REFER DRAWING No. BFP-5
 FOR CONTINUATION REFER DRAWING No. BFP-7
 FOR CONTINUATION REFER DRAWING No. BFP-9

Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ



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Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 8 OF 15
Ver	JS	24/01/2023	Date		
App					
GZ		24/01/2023			

Status	FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
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Drawing Number				Revn
BFP-08				A

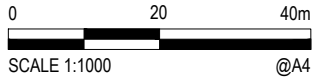
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 DATE PLOTTED: 11 December 2023 10:46 AM BY: CHEN, CHARLIE



LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

NOTE:
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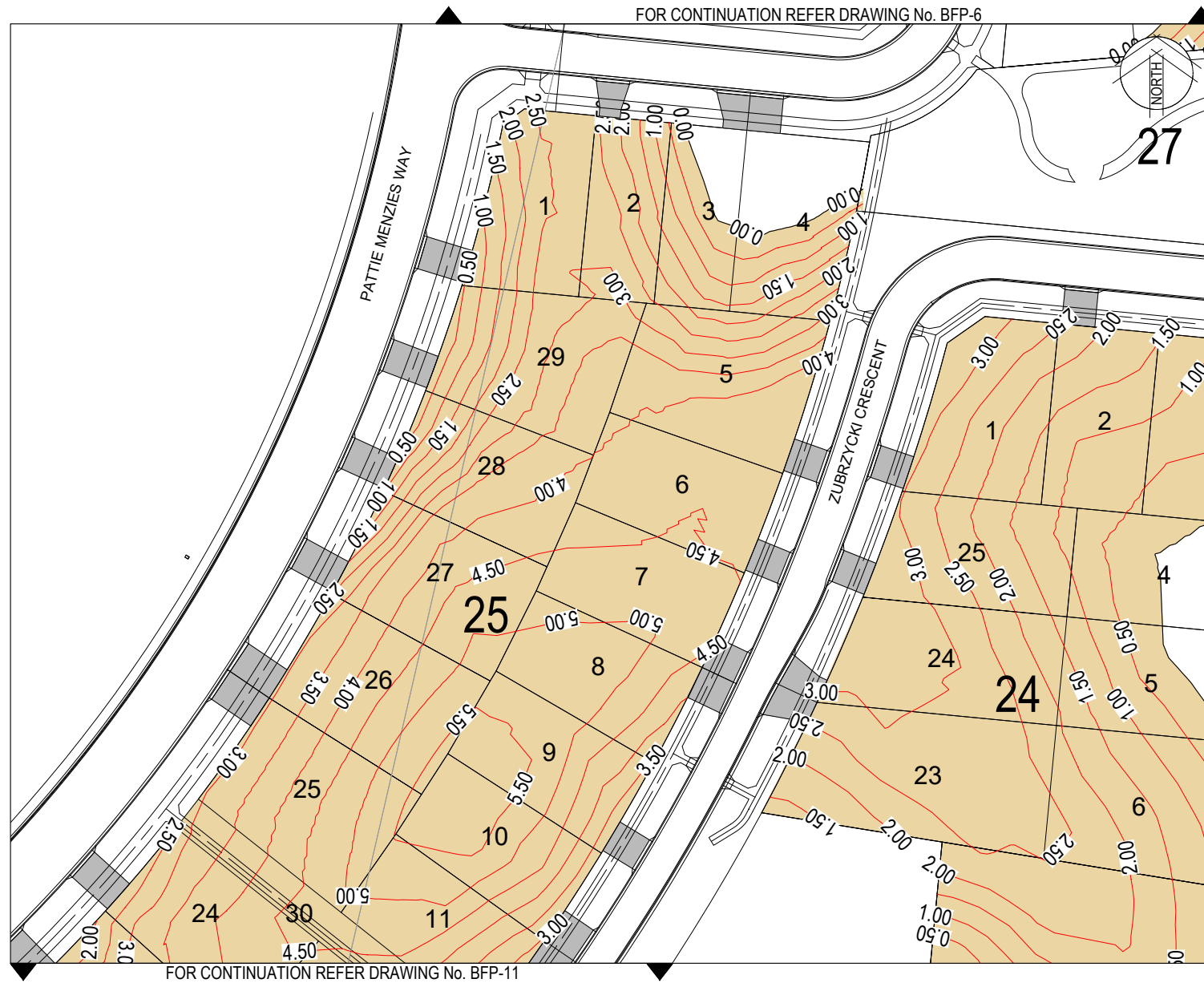
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A	24/01/2023	FOR INFORMATION	ML	JS	GZ


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Dwn	MO	24/01/2023	Date	Client	SUBURBAN LAND AGENCY
Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 9 OF 15
Ver	JS	24/01/2023	Date		
App					
GZ		24/01/2023			

Status	FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
Date	Datum	Scale	Size	
January 2023	AHD	1:1000	A4	
Drawing Number				Revn
BFP-09				A

XREFs: EX-Title Block Logo: EX-Taylor; X-GUNGAH.LIN: EX-1CD; X-OS PATHS; X-CAD Base - 1A; AT GRP TITLE BLOCK; X-CAD Base; STG_1C; X-CAD Base; STG_1B; X-CAD Base; STG_1D; X-PONDS; X-Stage Boundary; STG_1A; CHAINAGE DriveWAY 500; X-Stage Boundary; STG_1C; 1A SECTION & BLOCK
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LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

NOTE:
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Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ

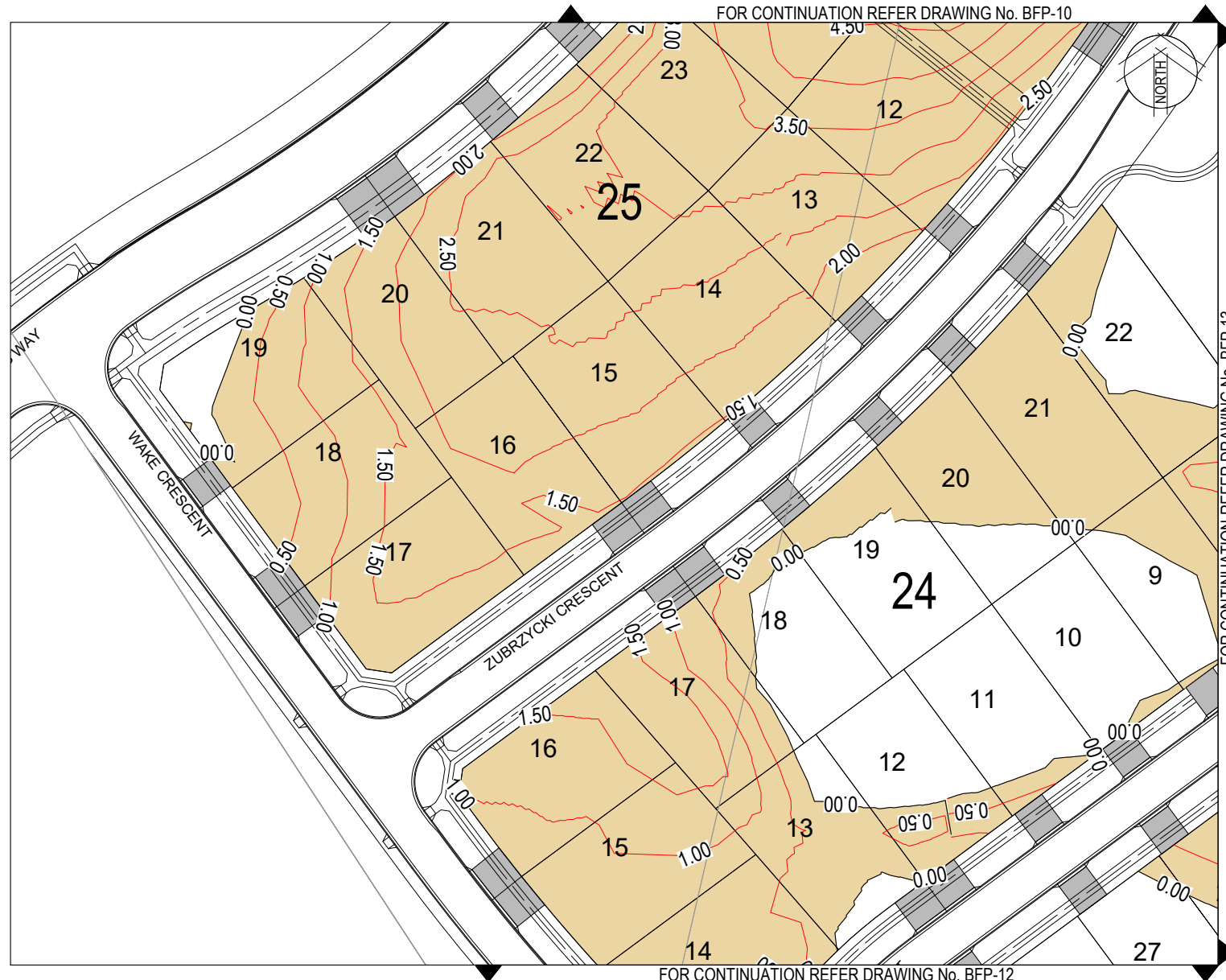

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Dwn	MO	24/01/2023	Date	Client	SUBURBAN LAND AGENCY
Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 10 OF 15
Ver	JS	24/01/2023	Date		
App					
GZ		24/01/2023			

Status	FOR APPROVAL				
NOT TO BE USED FOR CONSTRUCTION PURPOSES					
Date	January 2023	Datum	AHD	Scale	1:1000
Drawing Number	BFP-10			Size	A4
Revn	A				

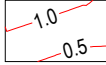

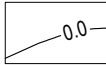
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FOR CONTINUATION REFER DRAWING No. BFP-10



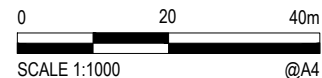
FOR CONTINUATION REFER DRAWING No. BFP-12

LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- 
 ESTIMATED FILL DEPTH (m)
- 
 FILL
- 
 LIMIT OF FILL

NOTE:

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FOR CONTINUATION REFER DRAWING No. BFP-13

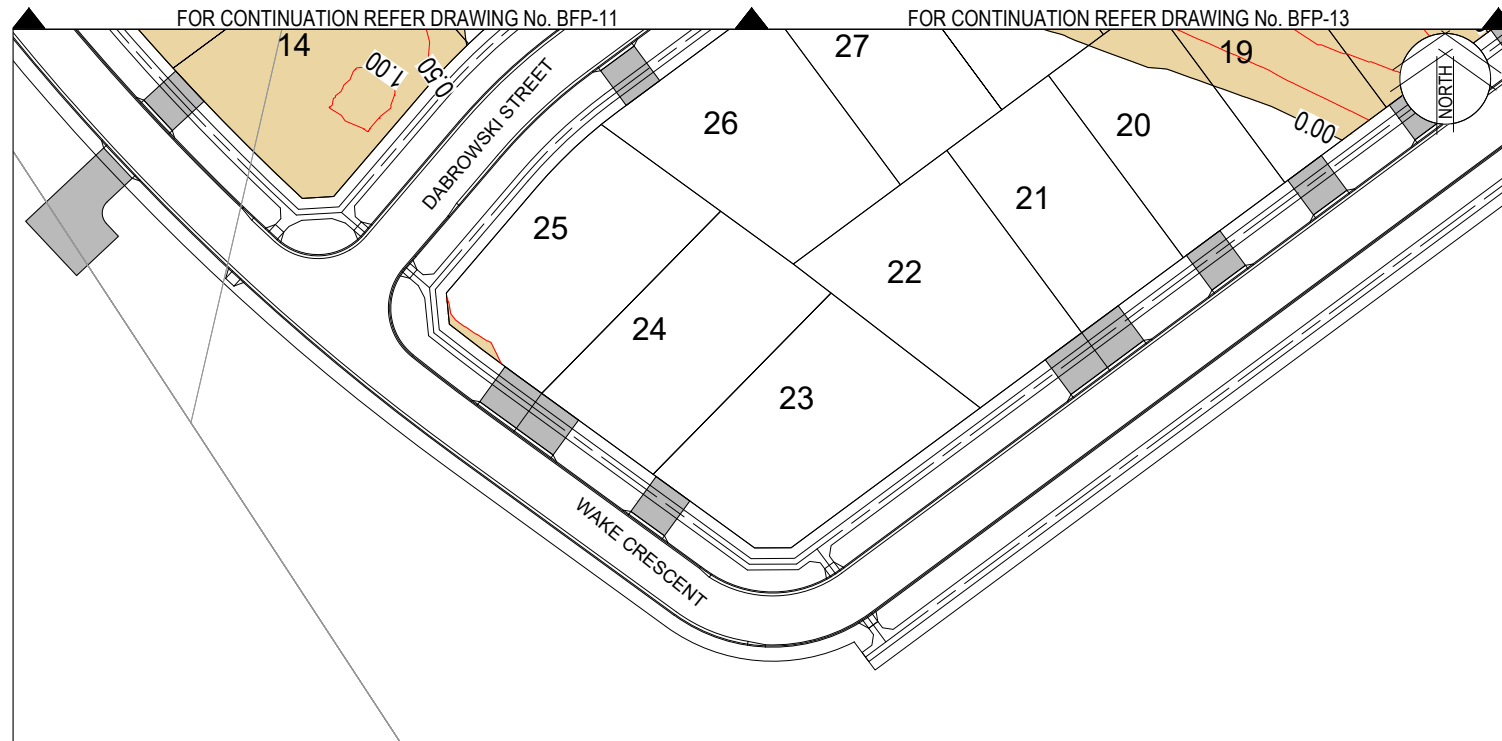
Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION		ML	JS GZ



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Dwn	MO	24/01/2023	Date	Client	SUBURBAN LAND AGENCY						
Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT						
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 11 OF 15	Status		FOR APPROVAL			
Ver	JS	24/01/2023	Date			NOT TO BE USED FOR CONSTRUCTION PURPOSES					
App				Date	January 2023	Datum	AHD	Scale	1:1000	Size	A4
GZ			24/01/2023	Drawing Number	BFP-11				Revn	A	

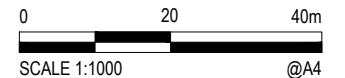
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 CAD File: L:\Projects\SLA_JAC - Jacka ZWORNINGRDR06 Report\Housing DCs 2022\HDG 2023\Block Fill Plans Standard\BLOCK FILL.dwg
 DATE PLOTTED: 11 December 2023 10:46 AM BY: CHEN, CHARLIE



LEGEND

- 1 BLOCK IDENTIFIER
- 11 SECTION IDENTIFIER
- ESTIMATED FILL DEPTH (m)
- FILL
- LIMIT OF FILL

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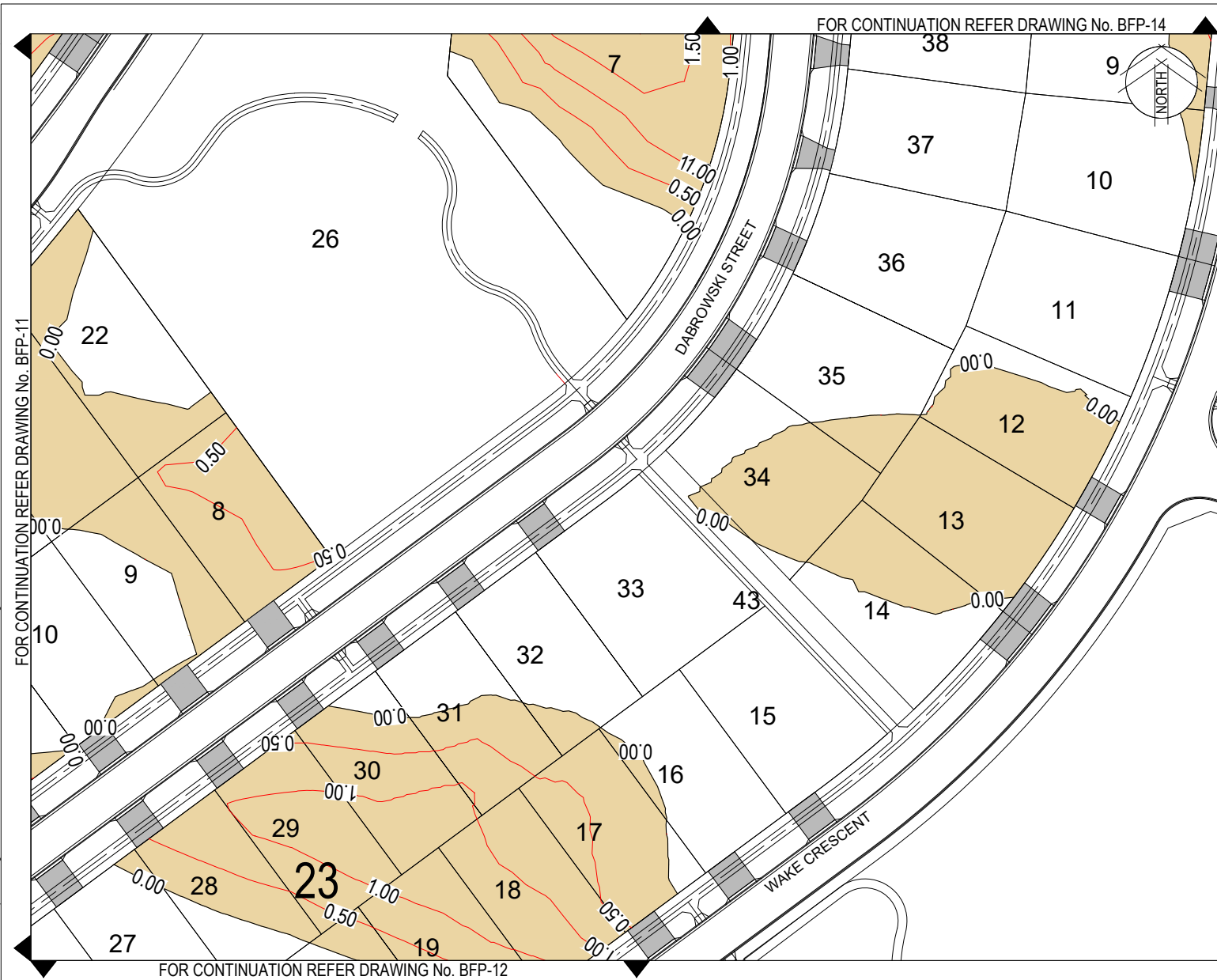
Rev	Date	Description	Des.	Verif.	Appd.
A	24/01/2023	FOR INFORMATION	ML	JS	GZ



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Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT						
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 12 OF 15						
Ver	JS	24/01/2023	Date		Status	FOR APPROVAL					
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					Revn	A					

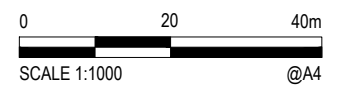
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 CAD File: L:\Projects\SLA - Jacka ZW\ORKING\RD06 Report\Housing D0s 2022\HDG 2023\Block Fill Plans Standard\BLOCK FILL.dwg DATE PLOTTED: 11 December 2023 10:46 AM BY : CHEN, CHARLIE



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FOR CONTINUATION REFER DRAWING No. BFP-11

FOR CONTINUATION REFER DRAWING No. BFP-14

FOR CONTINUATION REFER DRAWING No. BFP-12

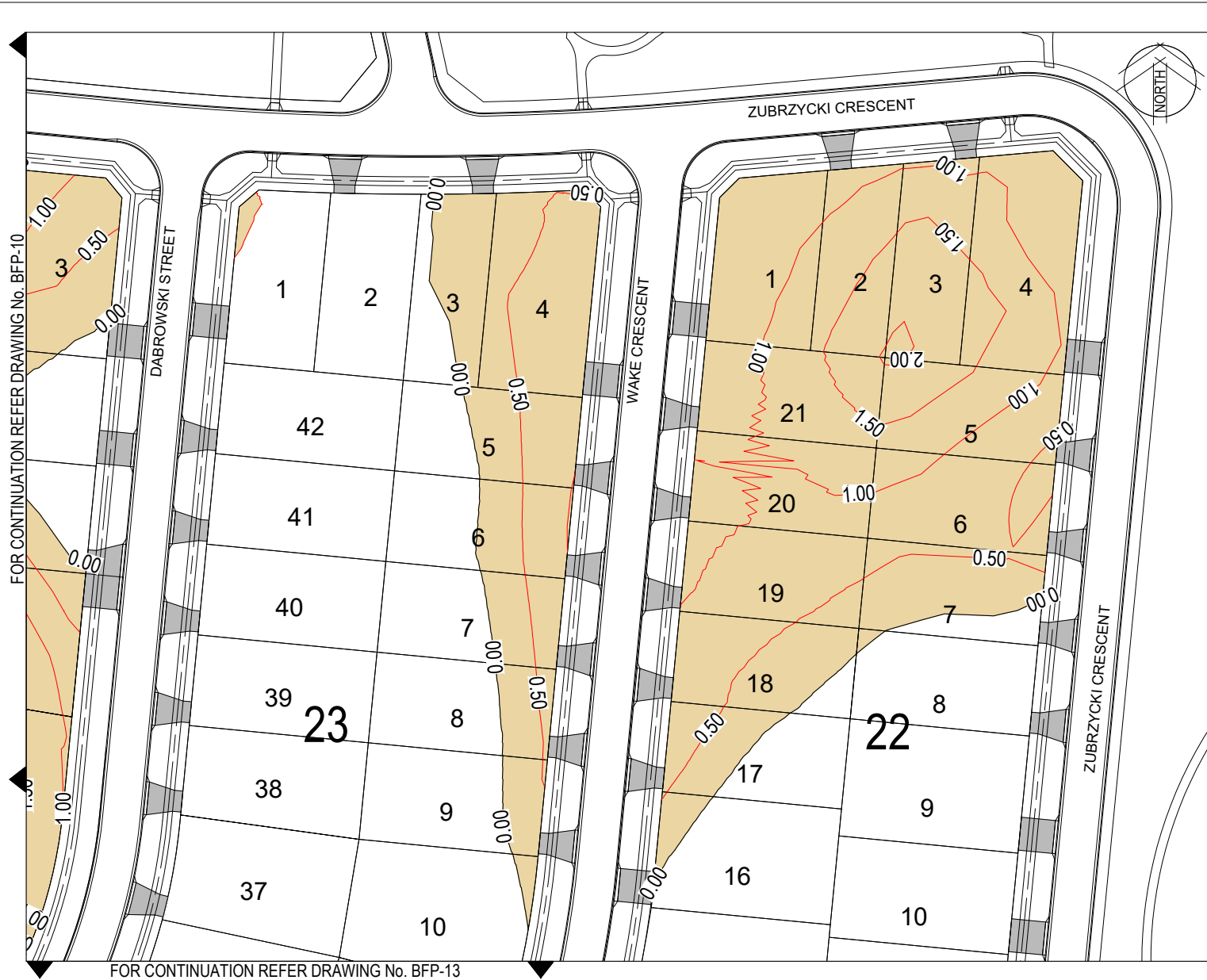
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Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Des	ML	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 13 OF 15
Ver	JS	24/01/2023	Date		
App					
GZ		24/01/2023			

Status	FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
Date	Datum	Scale	Size	
January 2023	AHD	1:1000	A4	
Drawing Number				Revn
BFP-13				A

XREFs: EX-Title Block Logo: EX-Taylor; X-GUNGAHLIN: EX-10D; X-OS PATHS; X-CAD Base - 1A; AT GRP TITLE BLOCK; X-CAD Base; STG_1C; X-CAD Base; STG_1B; X-CAD Base; STG_1D; X-PONDS; X-Stage Boundary; STG_1A; CHAINAGE DriveWAY 500; X-Stage Boundary; STG_1C; 1A SECTION & BLOCK
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 DATE PLOTTED: 11 December 2023 10:46 AM BY: CHEN, CHARLIE

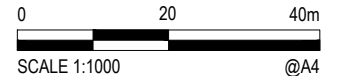


LEGEND

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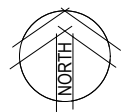
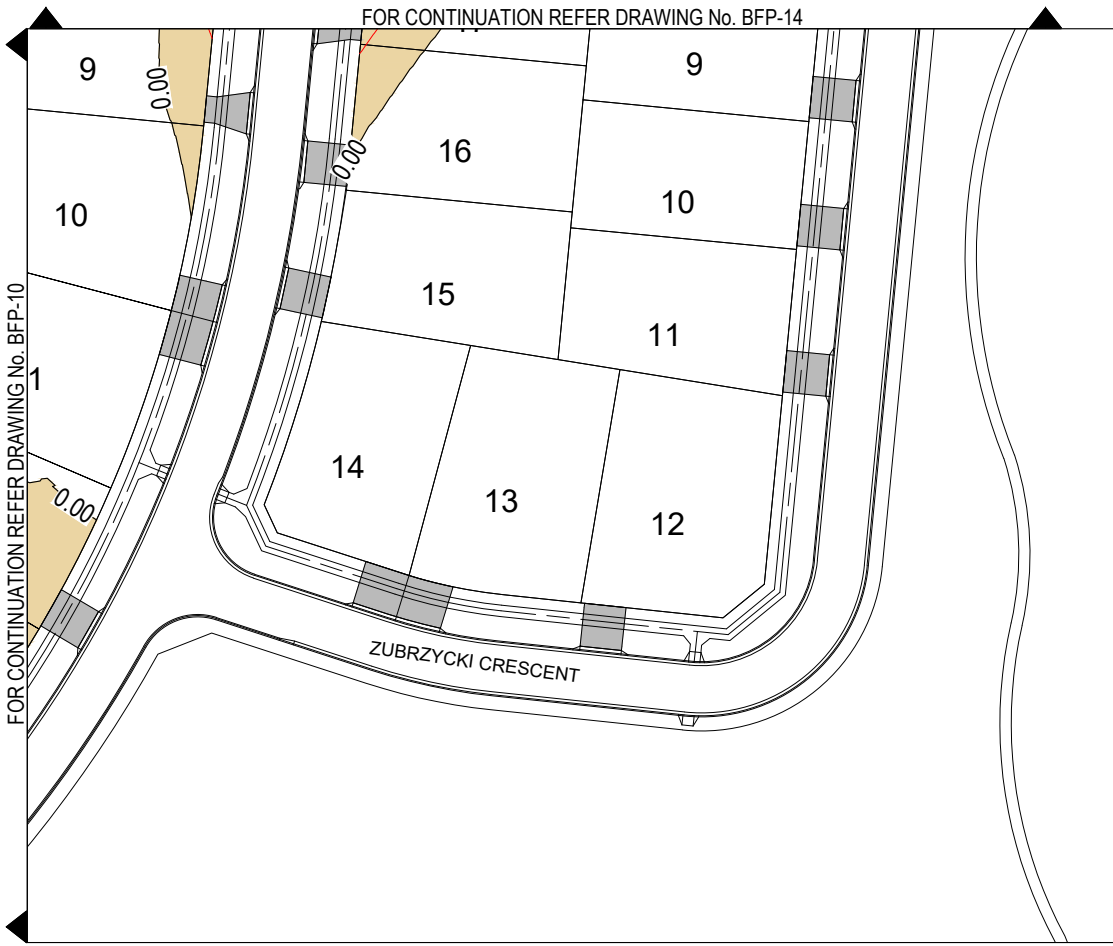
Rev	Date	Description	Des.	Verif.	Appd.
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Chk	AS	24/01/2023	Date	Project	JACKA 2 - RESIDENTIAL ESTATE DEVELOPMENT
Des	ML	24/01/2023	Date	Status	FOR APPROVAL
Ver	JS	24/01/2023	Date	NOT TO BE USED FOR CONSTRUCTION PURPOSES	
App	GZ	24/01/2023	Date	Title	BLOCK FILL PLANS SHEET 14 OF 15
				Date	January 2023
				Datum	AHD
				Scale	1:1000
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				Drawing Number	BFP-14
				Revn	A

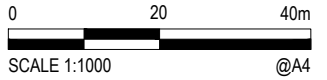
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 CAD File: L:\Projects\SLA_JAC - Jacka ZWOKINGRDR06 Report\Housing DCs 2022\HDG 2023\Block Fill Plans Standard\BLOCK FILL.dwg DATE PLOTTED: 11 December 2023 10:49 AM BY : CHEN, CHARLIE



LEGEND

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Ver	JS	24/01/2023	Date	Title	BLOCK FILL PLANS	Date	January 2023	Datum	AHD	Scale	1:1000	Size	A4
App				SHEET 15 OF 15		Drawing Number		BFP-15		Revn	A		
GZ	24/01/2023												